

TORREY HIGHLANDS

Subarea Plan
for
North City Future
Urbanizing Area
Subarea IV

Adopted: August 5, 1996
Amended: December 7, 1999
Amended: November 14, 2000
Amended: September 24, 2002

TORREY HIGHLANDS SUBAREA PLAN

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Adopted by:
City of San Diego City Council
August 5, 1996
Resolution No. R-287749

Amended on:
December 7, 1999
Resolution No. R-292591

Amended on:
November 14, 2000
Resolution No. R-2001-652

Amended on:
September 24, 2002

Resolution No. R-297097

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CHAPTER ONE: INTRODUCTION

The North City Future Urbanizing Area (NCFUA) is a 12,000-acre area stretching easterly from I-5 and Carmel Valley to the Rancho Penasquitos and Rancho Bernardo communities. The NCFUA Framework Plan, adopted in October, 1992, established 5 subareas as shown in FIGURE 1-1. A Subarea Plan was to be prepared for each subarea; the document was to describe the open space, transportation, development and other definitive aspects of the proposed subarea upon buildout. This document is the plan for Subarea IV, which will be referred to as the Torrey Highlands Subarea.

Subarea IV consists of 1,520 acres. However, the 386-acre Fairbanks Highlands property processed a map under the A-1-10 Zone, Planned Residential Development (PRD) Ordinance and City Council Policy 600-29. The City Council adopted this map in early December 1995. Consequently, while the 386-acre Fairbanks Highlands property is still part of Subarea IV, it was not included as part of the Torrey Highlands phase shift. Total acreage for Torrey Highlands that was the subject of the November 1996 phase shift vote, therefore, was 1,134. The boundaries for Fairbanks Highlands and Torrey Highlands within Subarea IV are illustrated in FIGURE 1-2.

The originally adopted Torrey Highlands Subarea Plan incorporated two alternative Caltrans alignments for SR-56 that were the subject of an environmental impact report (EIR) processed by the City of San Diego. Two separate Torrey Highlands land use plans reflecting the Central alignment and the Northerly alignment were presented in equal detail. As always, the EIR also considered the a “no project” alternative. In 1998, the northerly alignment of SR-56 was selected for implementation. This Torrey Highlands Subarea Plan was subsequently amended to reflect approval of the northerly alignment, eliminating the central alignment land use plan and corresponding discussion of the proposed central alignment.

1.1 PURPOSE AND NEED

The Framework Plan requires that individual subarea plans be prepared prior to voter consideration of a phase shift for the NCFUA. The purpose of a subarea plan is to refine and augment the NCFUA Framework Plan within a particular subarea’s boundaries, while remaining consistent with the adopted goals and policies of the Framework Plan and the City Progress Guide and General Plan.

The Torrey Highlands Subarea Plan refines the generalized Framework Plan based on the need to:

- Develop a refined land use plan within the context of the Framework Plan
- Develop alignments for the major circulation element roads (Camino Ruiz, Carmel Valley Road and Carmel Mountain Road)
- Provide for a future alignment for SR-56
- Define development boundaries consistent with the MSCP Preserve
- Locate public facilities
- Designate pedestrian, bicycle and equestrian trail corridors

Figure 1-1
Regional Location Map

Figure 1-2
Phase Shift Map

1.2 PLAN ORGANIZATION

The Torrey Highlands Subarea Plan consists of text which sets forth goals, policies, proposals and recommended actions, and a land use map depicting land use designators throughout the community. The Subarea Plan text is organized as follows:

Introduction (Chapter 1) describes the purpose, reasons and background for the plan development.

Open Space (Chapter 2) describes the adopted Multiple Species Conservation Program (MSCP), which establishes a regionally significant open space system that will sustain biodiversity and connect to surrounding open space areas. The chapter also describes the open space amenities within the Subarea.

Circulation (Chapter 3) describes the major circulation routes providing access to and through the community. In addition, this chapter describes motorized and non-motorized transportation alternatives to the single-occupancy vehicle, including bicycle, pedestrian, and equestrian trails and paths, as well as transit.

Land Use (Chapter 4), Community Design Guidelines (Chapter 5), Community Facilities (Chapter 6) and Housing (Chapter 7) respectively provide the land use plan for Torrey Highlands, establish goals for future development, identify policies to guide development, and describe more specific detail for policy implementation throughout the plan area.

Implementation (Chapter 8) describes the required actions and mechanisms to achieve the Torrey Highlands Subarea Plan.

1.3 TORREY HIGHLANDS PLANNING PROCESS

Subsequent to the adoption of the Framework Plan in 1992, North City Future Urbanizing Area (NCFUA) property owners participated in a coordinated effort for the planning of four subarea plans within the NCFUA to allow these areas to shift from Future Urbanizing to Planned Urbanizing Area at one time. Consultant and property owner teams worked on separate plans for each of the subareas, with extensive coordination occurring in the areas of circulation/road alignments, MSCP/Environmental Tier refinement, and public facility location. Ongoing dialogue was maintained with community planning groups adjoining the subareas in planning. In March 1994, prior to the completion of the subarea plans, the City council decided to place a phase shift measure on the June 1994 ballot for the entire NCFUA. It failed to gain a majority vote.

According to the Framework Plan, once a phase shift effort for the entire NCFUA has failed, then individual subareas are allowed to proceed for a phase shift vote if they comply with the Framework Plan including completion of a subarea plan. The Torrey Highlands Subarea Plan, that was begun in 1993, has been revised, updated, and completed to comply with the requirements set forth by the Framework Plan and was adopted by the City Council on August 5, 1996 and submitted for a phase shift vote on the November 5, 1996 ballot. The ballot measure passed, and this Subarea Plan became effective. (Additionally, several other requirements regarding schools, parks, financing, and open space were met prior to the subarea plan becoming effective in October of 1998).

The final land use plan for the Torrey Highlands community has been achieved as a result of

planning steps taken to realize the specific goals of the Framework Plan. The first step involved the gathering of data and analysis of existing conditions including the review of on-site environmental opportunities and constraints. This step led to the refinement of the boundaries of the Environmental Tier through the application of MSCP planning criteria. These resource protection boundaries, in turn, have established the most significant opportunities and constraints for Torrey Highlands land use planning. The alignment of regional circulation roads was the next step, followed by the determination of required public facilities and their location within Torrey Highlands. The next step involved relating the development pattern to the Local Mixed Use Center consistent with neo-traditional planning concepts. This includes identification of pedestrian trails and bicycle links throughout Torrey Highlands. The final step involved combining all the elements to create two land use plans of equal detail for Torrey Highlands, which anticipated the two alignments for SR-56 that were under review by the City of San Diego and CALTRANS. With approval of the northerly alignment in 1998, the land use plan showing the central alignment of SR-56 was eliminated from the Subarea Plan through an amendment process.

The Torrey Highlands Subarea Plan text defines the implementing principles and policies that will guide the development of the community. Upon its adoption in August 1996, the Subarea Plan became the guide for future discretionary actions including tentative maps, planned development permits, rezoning and other discretionary actions.

1.4 PLANNING CONTEXT

1.4.1 Physical Characteristics

Topography: Torrey Highlands is characterized by a wide range of landforms including a series of canyons and ridges, relatively flat mesas and floodplains, and gently to steeply sloping hillside terrain. Three canyons occur within or adjacent to the project area: McGonigle Canyon bisects the property in a southwesterly direction, Deer Canyon extends in an east/west direction just south of the project area, and the upper reach of La Zanja Canyon extends into the northwestern portion of the project area. Slopes with a gradient exceeding 25 percent occur along some of the drainages of these three canyons and a 100-year floodplain has been delineated per FEMA guidelines for McGonigle Canyon.

Visual Resources: Major visual resources in Torrey Highlands include on-site and off-site views that will be utilized in developing the community. Primary on-site views include the Pacific Ocean as seen from higher elevations in Torrey Highlands, Del Mar Mesa to the south, and Black Mountain to the northeast. Several eucalyptus groves in McGonigle Canyon and the southeast portion of the Subarea provide view opportunities as does Deer Canyon located to the south of the plan area. From off-site most of the Torrey Highlands plan area is visible from the existing Rancho Penasquitos developments to the east, Del Mar Mesa to the south and Subarea III to the west.

Vegetation: The majority of the project area has been disturbed by agricultural activities and is covered with non-native grasses. Various types of native vegetation on-site include Diegan coastal sage scrub, chamise chaparral and

mixed chaparral. Several groves of eucalyptus trees occur within the project area. Coast and valley freshwater marsh, mule fat scrub, southern riparian scrub and southern willow scrub occur along portions of the on-site drainages. Small isolated patches of scrub oak chaparral also occur on-site.

1.4.2 Existing Land Uses

Existing land uses within the project area include commercial nurseries in the northwest and northeast portion of the site, equestrian facilities and several residences in the northwest and northeast portions of the site. Two schools operated by the Poway Unified School District exist along the eastern boundary of Torrey Highlands: Adobe Bluffs Elementary School, located along the northeast edge and Mesa Verde Middle School, along the southeastern edge of the project area. A 100-foot wide San Diego Gas and Electric transmission easement exists along the western project boundary containing wooden poles supporting 69-kilovolt (kV) lines and steel lattice towers supporting 230-kilovolt lines. Black Mountain Road (also known as Carmel Valley Road or Del Mar Heights Road) exists as a two-lane dirt road through the northerly portion of the project area. A sewer line and easement exist along McGonigle Canyon and a water line and easement pass through the project area, south of the existing unpaved Black Mountain Road.

1.4.3 Surrounding Land Uses

Rancho Penasquitos: Residential development within the Rancho Penasquitos community abuts most of the eastern boundary of Subarea IV, including three neighborhoods that are adjacent to Torrey Highlands: the Bluffs on the northeast, Twin Trails to the southeast, and Parkview to the extreme southeast. These neighborhoods are currently in various stages of development and are predominantly single family in nature. According to the Rancho Penasquitos Community Plan, 51 percent of the community is designated as residential; with Low Density (1-5 du/ac) housing comprising 87 percent of the residential development within the community. Parks and open space account for 34 percent, streets and utilities 9 percent, institutional 3 percent, commercial 2 percent, and industrial 1 percent of the community.

1.4.4 Planned Land Uses

North City Future Urbanizing Area - Subareas: The North City Future Urbanizing Area surrounds Torrey Highlands to the north, south and west. Although subarea plans for all of the NCFUA were not completed when this Subarea Plan was prepared, the proposed land uses for the NCFUA were important to consider during planning of Torrey Highlands.

Subarea I is to the north and includes the Black Mountain Ranch tentative map and planned residential development (PRD), approved in November of 1992 and revised in October 1995, allowing development of single family estate lots, affordable multi-family units, two golf courses and a series of associated uses including public and private schools, churches, public facilities and reservoirs. This development does not require a phase shift vote. A phase shift for the remainder of the Subarea was approved in November 1998. The Subarea I plan calls for an additional 4,279 dwelling units, 1,350,000 square feet of commercial uses, 650,000 square feet of office uses, a 300-room resort/hotel, and north and south village mixed use centers (CMXU), providing pedestrian-friendly environments and public and quasi-public facilities/services.

Subarea III is located to the west of Subarea IV. The Framework Plan proposed a total of from 5,400 to 6,500 dwelling units, a mixed use core and several neighborhood areas emphasizing pedestrian-friendly forms of development. The owner of a 72-acre parcel at the southwestern edge of the Subarea filed an application for a phase shift vote in November 1996. This project, called Seabreeze Farms Estates, proposed an Equestrian Center, 220 single-family homes and 55 multi-family dwelling units. The application was approved and was placed on the November 5, 1996 ballot. The proposition was approved by the voters. The Subarea III Plan, also called

the Pacific Highlands Ranch Subarea Plan, was approved by the City in 1998, and was the subject of a successful phase shift vote in November 1998. The Subarea Plan calls for 4,974 residential units, a 33-acre Village area, a 20-acre employment center, seven school sites, a civic use area, and various areas of open space.

Subarea V (Del Mar Mesa) which is to the south, is primarily designated for very low density development and open space resources. A specific plan, which contemplates the ultimate development of up to 688 dwelling units, was approved by the City Council on July 30, 1996. Implementation of the Del Mar Mesa Specific Plan does not require a phase shift vote.

Subarea IV includes Fairbanks Highlands and Torrey Highlands. Torrey Highlands has proceeded under a planning process in accordance with the Framework Plan. This subarea includes McGonigle Canyon, which forms an important wildlife corridor linking Penasquitos Canyon Preserve, Deer Canyon, the San Dieguito Regional Park, La Zanja Canyon, and Black Mountain Park. Torrey Highlands will also ultimately incorporate public facilities including a high school, an elementary school and a portion of a middle school. The Torrey Highlands Local Mixed Use Center (LMXU) will provide neighborhood-serving opportunities for shopping and employment. In total, the Torrey Highlands Subarea will contribute a maximum of 2,600 dwelling units, including affordable housing, to the region's housing stock. The employment center is being proposed to provide job opportunities for the northern part of the City of San Diego.

1.4.5 Planning Principles

The following planning principles guided the development of the Torrey Highlands Subarea Plan and are stated here to emphasize the overall goals for future development:

Environmental

- Preserve biodiversity, significant resources, landforms and habitat
- Provide for and contribute to a comprehensive open space system

Regional Planning

- Provide a well-integrated land use pattern that provides for a range of housing and employment opportunities
- Promote development patterns complementary to the adopted plans and existing development patterns of existing communities
- Provide recreational opportunities to serve the needs of Torrey Highlands residents and residents of existing, adjoining communities
- Provide open spaces separating residential neighborhoods, while providing links through a series of pathways and trails

Balanced Land Use

- Provide a range of residential housing alternatives, from very low density single-family estate product types to LMXU density multi-family product types.

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- Provide housing opportunities for persons with special needs. Integrate low and moderate income housing opportunities throughout the community.
 - Provide for a diversified economic base that will contribute to supporting required public services in Torrey Highlands.
 - Create employment opportunities for area residents including commercial development in the LMXU as well as office and research development in the employment center.
 - Distribute land uses and design facilities to encourage the use of alternative modes of transportation through the inclusion of a bicycle and pedestrian network, as well as allowing for potential transit modes.
 - Provide commercial and civic facilities in the LMXU to meet the daily needs of area residents.

Facilities Concurrent with Need

Throughout the plan area as well as throughout the entire City of San Diego, it is important to provide public facilities and services as they are needed and in fact anticipate the need so as to not be in a continuous catch up mode. Torrey Highlands Subarea's public facilities financing and phasing plan is structured to:

- Require public facilities and services to meet the needs of all residents.
- Provide for the convenient and efficient location of services and facilities.
- Provide for needed services and facilities within Torrey Highlands without undermining the tax base of surrounding communities.

CHAPTER TWO: OPEN SPACE

GOAL:

Contribute to a multi-purpose open space system that promotes regional resource protection and provides a critical connection to adjacent community open space.

2.1 IMPLEMENTING PRINCIPLES

- Comply with RPO (or successor regulations) as well as the adopted MSCP and implementing ordinances, policies, regulations or alternative compliance provisions within development areas to maintain natural resources such as mature stands of native trees, seasonal stream courses, wetlands and significant landforms
- Conserve biological resources consistent with the Multiple Species Conservation Program (MSCP) Preserve through the development of interconnected and viable habitat reserves, habitat restoration and enhancement
- Define boundaries for the Torrey Highlands Preserve Segment which are consistent with the MSCP Preserve boundaries
- Define and preserve an interconnected open space system within Torrey Highlands that links the larger regional open space systems including McGonigle Canyon, La Zanja Canyon, Deer Canyon, the San Dieguito River Valley Park, Black Mountain Regional Park, and Penasquitos Canyon Reserve consistent with the MSCP
- Integrate, where appropriate, passive recreation uses within the MSCP Preserve
- Utilize mitigation concepts consistent with State of California guidelines to help ensure the conservation and enhancement of resource lands

2.2 RESOURCE PROTECTION ORDINANCE

The City Resource Protection Ordinance (RPO), adopted in February 1989, is designed to protect sensitive natural resources. The Ordinance identifies sensitive lands such as hillsides, biologically sensitive areas, prehistoric and historic sites, wetland and wetland buffers, and floodplains and floodways.

All development within the City of San Diego must be reviewed to determine if a RPO Permit is needed. The intent of the ordinance is to limit development encroachment into designated sensitive areas, and to establish the means by which encroachment is mitigated.

In January 1990, the City Council approved City Council Policy 600-40, directing how RPO analysis relates to the preparation and implementation of long-range plans such as Torrey Highlands. The Policy was created to:

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- Ensure thorough analysis of site constraints and opportunities in the planning process
 - Aid in the review of subsequent permits and maps within the planning area
 - Ensure protection of environmental resources by preserving contiguous open space systems and providing mechanisms to acquire or protect those resources
 - Ensure that adopted land use policies and objectives are considered in the context of the suitability of the plan area for development

The Subarea Plan was developed using the site constraints and opportunities for the project area. Development areas are designated based on suitability and open space areas (habitat linkages have been designated to ensure contiguous open space systems in the region). The Subarea Plan incorporates RPO planning guidelines in Appendix D of the Biological Resources Report: Restoration and Enhancement Plan (APPENDIX C of the Torrey Highlands Subarea Plan) which consolidates all on-site habitat restoration/mitigation projects into the MSCP Preserve. Because the MSCP Preserve area within Torrey Highlands consists mostly of disturbed habitats, the consolidation of potential mitigation areas within the MSCP Preserve provides a benefit to sensitive resource protection that would not occur if the plan area was developed on a parcel-by-parcel basis with individual RPO permits.

If future project or permit applications within Torrey Highlands are found to be consistent with the Torrey Highlands Subarea Plan, then future RPO permits may be approved using the substantial conformance determination referenced in the alternative compliance subsection of the RPO. Additionally, encroachment analysis for project or permit applications is unnecessary, so long as a substantial conformity determination is made by the decision-makers that the projects are consistent with the Torrey Highlands Subarea Plan.

2.3 ENVIRONMENTAL TIER

The Environmental Tier mapping project was conducted for the entire North City FUA as part of the Framework Plan planning process. The in-depth study was conducted and completed largely in conformity with the site suitability analysis criteria contained in City Council Policy 600-40. Additional criteria included wildlife corridor and habitat protection principles. The information was utilized as the basis for planning and locating an Environmental Tier.

When the City Council adopted the Framework Plan for the North City FUA, it concurrently adopted the Environmental Tier and approved the Framework Plan as the mechanism by which the RPO would be implemented and enforced within the NCFUA. The Framework Plan discussion of RPO concludes that:

- The Environmental Tier, if fully implemented, protects environmental resources and preserves a contiguous and interconnected open space system. The Environmental Tier and open space implementation policies provide objective criteria against which to review projects.

This Subarea Plan further refines the studies conducted for the Environmental Tier areas mapped in the NCFUA using the principles, policies and proposed regulations, developed in planning for the MSCP Preserve (Section 2.4.1). The MSCP Preserve within Torrey Highlands reflects the previously delineated Environmental Tier. The Environmental Tier for Torrey Highlands is therefore equivalent to the MSCP area in Torrey Highlands and shall be hereafter referred to as the Torrey Highlands Preserve Segment or the Preserve. Torrey Highlands provides approximately 250-270 acres of the MSCP Preserve. Detailed biological information and a parcel-by-parcel evaluation of resource impacts are contained in the RPO analysis for Torrey Highlands as part of the Environmental Impact Report.

2.4 TORREY HIGHLANDS OPEN SPACE CONCEPT

As illustrated in FIGURE 2-1, the open space within Torrey Highlands is an integral part of the NCFUA open space network. The NCFUA open space for Subarea IV has been included as part of the Torrey Highlands Preserve Segment.

2.4.1 MSCP Preserve

The Multiple Species Conservation Program (MSCP), is a habitat conservation plan developed in accordance with Section 10(a) of the Federal Endangered Species Act and the state Natural Community Conservation Planning Act. With approval of the MSCP by federal and state authorities in March, 1997, the City was granted an incidental take permit which allows landowners within the City to disturb the habitat of certain endangered, threatened and sensitive species in exchange for making long term commitments to conserve habitat in an area known as the MSCP Preserve (also called the Multiple Habitat Planning Area [MHPA]).

2.4.2 Torrey Highlands Preserve Segment

The Torrey Highlands Subarea Plan Preserve incorporates MSCP lands which provide a large contiguous area of natural open space to support native plants and animals as well as provide linkages between large areas of off site natural open space areas.

The Torrey Highlands Preserve Segment, as illustrated in FIGURE 2-2, is generally defined by McGonigle Canyon in the central area, the upper reaches of La Zanja Canyon in the northwest area and Deer Canyon in the south area. The majority of the land within the Torrey Highlands Preserve Segment has been disturbed by past agricultural practices but also includes steep slopes, 100-year floodplains, view corridors, native vegetation, and non-native grassland. The Torrey Highlands Preserve Segment encompasses approximately 270 acres in Torrey Highlands.

Given the varied topography of Torrey Highlands, it is possible to describe the Torrey Highlands Preserve Segment in terms of unique topographic characteristics associated with the southern, central, and northwestern regions of Torrey Highlands.

Figure 2-1
NCFUA Open Space

Figure 2-2
Open Space Map

The key feature of the central region is McGonigle Canyon, which diagonally bisects the entire subarea from the southwest to the northeast and functions as a major wildlife corridor. In general, it is characterized by steep slopes and finger canyons along the south, with less steep slopes along the north. The spine of this portion of the Torrey Highlands Preserve Segment is defined by the 100-year floodplain. This area is designated as a regional wildlife corridor by the MSCP and is required to be no less than 1,000-feet in width, except for areas governed by special circumstances as referenced below.

The key features of the northwestern region are the upper reaches of La Zanja Canyon and a segment of the SDG&E easement. This portion of the Preserve Segment is dominated by steep slopes and is variable in width, with the exception of the southern leg of the region containing the SDG&E easement.

The southern region comprises the south facing slopes and finger canyons within the northern limits of Deer Canyon that are dominated by chaparral and sage scrub and would connect with the major component of the MSCP Preserve within Del Mar Mesa.

The goal of the MSCP for the entire city is to have wildlife corridors of 1,000 feet or more. Exceptions may be accommodated where narrow widths are compensated nearby with required width and resource agencies concur. The Torrey Highlands Preserve Segment generally varies in width from 1,000 feet to 1,400 feet, with approximately 87 percent exceeding 1,000 feet in width.

2.4.3 Preserve Segment Requirements

In general, the Torrey Highlands Preserve Segment would consist of native vegetation with limited passive recreation activities such as trails allowed along the boundaries of the Preserve, and in limited areas within the Preserve to allow crossing between residential communities. The trails will generally follow the contours on the inside edge of the north side of the Preserve to avoid unnecessary grading. A trail will also follow the sewer trunk easement road located within the Preserve and a trail connection will be provided within the SDG&E easement near the southwest edge of Torrey Highlands.

As stated above, the goal for corridor width within the MSCP Preserve is 1,000-feet. The width is defined as the distance between the land use development areas (including Brush Management Zone 1) as shown on the land use plan. The Torrey Highlands Preserve Segment width will be wider in some areas and may be reduced to no less than 950-feet* in other areas if approved by the reviewing agencies and if offsetting mitigation is provided which increases preserve widths in offsetting locations or which otherwise promote the function of the MSCP Preserve.

Grading will be allowed in the limited areas shown on the Concept Grading Plan, FIGURE 5-1, within the perimeter areas of the Torrey Highlands Preserve Segment provided the average slope ratio is no greater than 3:1 and the graded area is revegetated with native plant material consistent with the plant communities within the Preserve.

* The only exception to the 950-foot width is on Parcel #306-011-07, which will have a minimum width of 900 feet. This is due to the "reasonable use" impacts which result from the proposed MSCP as it affects this parcel. This width has been accepted by the resource agencies (USFWS, CDFG) and will ensure that the subject property retains development potential.

Brush Management adjacent to the Preserve shall be consistent with the following guidelines:

Fuel management areas exist between all structures and the native vegetation of canyons and hillsides and are intended to preserve, protect and safeguard human lives and property and the natural habitat. Brush management shall comply with the City's Landscape Technical Manual and adopted MSCP Plan and implementing agreements.

- Zone 1 shall be 40-feet (30-feet if fire resistant architectural features are incorporated into the design of the structure). This zone shall consist of plant species adjacent to structures and be located entirely within the development areas as identified in the land use plans.
- Zone 2 and Zone 3 consist of selective thinning and pruning of native plant materials to reduce the fuel load. Any revegetation within these zones shall be achieved by using drought tolerant, fire retardant low growing plant materials that are visually and biologically compatible with the native vegetation. Where brush management is required adjacent to the Torrey Highlands Preserve Segment, alternative compliance should be used to minimize impacts that Zones 2 and 3 may cause within the Preserve. Examples of alternative compliance include: walls, increased development setbacks, and fire resistant architectural features.

Specific guidelines for trails, edge treatments, erosion control and landscaping within the Preserve are discussed in Chapter 5 (Community Design Guidelines) and are also included in the City of San Diego MSCP Subarea Plan.

2.5 SUBAREA IV RESTORATION AND ENHANCEMENT PLAN

The Subarea Plan is intended to promote the restoration of native vegetation in the Torrey Highlands Preserve Segment to permit it to function as a wildlife corridor and to provide a mitigation program to accomplish this objective.

The biological impacts of the Torrey Highlands development plan would be mitigated on two levels. Initially, the Torrey Highlands Subarea Plan will refine and set aside the Environmental Tier as called for in the NCFUA Framework Plan and the MSCP Subarea Plan, as the Torrey Highlands Preserve Segment. Ultimately, actual losses of sensitive biological resources associated with future development projects within Torrey Highlands will be mitigated through a program consistent with the RPO (or successor regulations) and the adopted MSCP and implementing agreements, with priority for mitigation given to on-site [Torrey Highlands] preservation and on-site [Torrey Highlands] restoration. Where on-site [Torrey Highlands] mitigation is not feasible, options for habitat acquisition funding and off-site [outside the Torrey Highlands Preserve Segment] will be provided.

2.5.1 Establishment of the Torrey Highlands Preserve Segment

The Torrey Highlands Open Space Plan (FIGURE 2-2) identifies the boundaries of the MSCP Preserve within Torrey Highlands. The acquisition of MSCP lands will be coordinated through various wildlife agencies and will be determined during the MSCP Planning process.

The California Department of Fish and Game (CDFG) and the US Fish and Wildlife Service (USFWS) have published specific mitigation banking guidelines. Upon MSCP or successor legislation, owners who place an easement over their lands may use this same land to mitigate for sensitive habitat on the remainder of their land and sell the balance for restoration and enhancement as described below.

2.5.2 Project Level Mitigation

Project-level mitigation will be necessary to compensate for habitat losses which would result from development within Torrey Highlands. There will be a need for some property owners to realize value for land which cannot be developed within the Preserve and for others to acquire mitigation land as an offset for resource land which must be disturbed outside the Preserve.

Property owners within the Torrey Highlands Preserve Segment would be able to retain the ability to use their property for subsequent project-level mitigation outside the Preserve Segment as follows:

Existing habitats within the Torrey Highlands Preserve Segment will be available for sale as mitigation to compensate for disturbance to sensitive land within Torrey Highlands which fall outside of the Preserve Segment. Lands which have been designated for preservation within the Preserve Segment, but which do not currently support existing native habitat, could be restored and enhanced passively by the property owner over time. Once the land reaches the required percentage of native habitat restoration criteria, as described in Appendix D of the Biological Resources Report: Restoration and Enhancement Plan (APPENDIX C of the Subarea Plan), the area will be considered acceptable for use as mitigation land and included within the mitigation bank. This would provide property owners who have poor quality habitat within the Preserve Segment the incentive to maximize the habitat value of their site.

Alternatively, land which has been designated for preservation, but which does not currently support existing native habitat, could be used as mitigation provided that an active restoration program is pursued. The active program as outlined in Appendix D of the Biological Resources Report: Restoration and Enhancement Plan (APPENDIX C of the Subarea Plan) would require more intensive efforts and greater bonding commitment in case of failure.

Mitigation credit will be provided for native habitat that is of equal quality or value to habitats that are being developed. Bonding will be provided to ensure that management measures, necessary to sustain the habitat value, are maintained.

The Torrey Highlands Subarea Plan is intended to actively promote the restoration of native vegetation in the Torrey Highlands Preserve Segment by providing incentives for on-site [Torrey Highlands] mitigation that offer the opportunity for private owners within the Preserve Segment to realize value for their property that has been designated as open space. The value realized would be directly related to the property owners' efforts to restore the habitat quality of their land so that its resource value qualifies as mitigation quality.

2.5.3 Mitigation and Restoration Coordination in Torrey Highlands

Restoration of the Torrey Highlands Preserve Segment is anticipated to occur naturally, and be augmented or enhanced through implementation of revegetation efforts implemented either by the owners of Preserve lands or by project applicants needing to revegetate areas for mitigation. Restoration projects that occur within the Preserve would need to be linked, coordinated and compatible with other restoration efforts as well as the adjacent natural areas. Site specific restoration plans will follow the policy directions outlined in Appendix D Biological Resources Report; Restoration and Enhancement Plan. All mitigation/restoration plans would be evaluated by the City and relevant resource agencies as part of the environmental review process for tentative maps. Each restoration plan will be required to demonstrate how it fits into the overall program for restoration of the Torrey Highlands Preserve Segment.

2.5.4 Mitigation Ratio Guidelines

The objective behind the MSCP Preserve is that the quality of the biological resources within this Preserve will exceed the collective value of the scattered and noncontiguous biological resources within the NCFUA area, even though in a few instances (such as some raptor species) reduction in habitat value may occur. Currently, as discussed earlier, the biological resources in the NCFUA and Torrey Highlands, in particular, are degraded and fragmented. Once fully restored, the overall biological resource value of Torrey Highlands Preserve, especially for scrub dependent species, is expected to exceed the value of the resources which now exist.

Due to low habitat value on-site, impacts to Diegan coastal sage scrub and scrub oak chaparral are anticipated to be mitigated at a 1:1 ratio. Mitigation for impacts to southern willow scrub and mulefat scrub are anticipated to be mitigated at a 3:1 ratio. In addition, a 50-foot wide naturally vegetated biological setback and 50-foot transitional buffer should be provided from the edge of the southern willow scrub vegetation within the open space areas.

Thirteen vernal pools were observed within the project site and all will be impacted by the project as it is currently proposed; most of the impacts are due to roads planned by the City of San Diego. The replacement ratios for the vernal pools and associated watersheds harboring federal and/or state listed endangered species are anticipated to be 3:1 and must include pools with the impacted endangered species. The replacement ratio for the vernal pools that do not have any sensitive species associated with them are anticipated to be 1:1.

Impacts to the 25 acres of chamise and southern mixed chaparral that are considered significant because they occur in large blocks of contiguous habitat can be mitigated through preservation of any native habitat.

Impacts to wetlands are typically mitigated only by habitat creation, enhancement or restoration. For impacts to wetlands occurring outside of the MSCP Preserve, however, a combination of habitat restoration and habitat preservation will be permitted in Torrey Highlands. At a minimum, at least one acre of wetland habitat would need to be created for each acre impacted. Remaining mitigation requirements would, however, be allowed to be mitigated through wetland habitat acquisition to achieve the anticipated overall 3:1 mitigation requirement.

2.5.5 Mitigation Program and Options

At the project level, property owners impacting habitat in Torrey Highlands may provide mitigation from the following options, with the priority for on-site [within the Torrey Highlands Preserve Segment] mitigation:

- Acquisition and preservation of existing native habitat in the Torrey Highlands Preserve Segment
- Restoration within the Torrey Highlands Preserve Segment
- Acquisition and restoration within the MSCP Preserve but outside of Torrey Highlands at two times the mitigation ratio provided under 2.5.4 Mitigation Ratio Guidelines
- Payment of fees into a habitat acquisition fund if mitigation requirements are less than 10 acres

The requirement for two times the prescribed mitigation ratios for off-site [outside the Torrey Highlands Preserve Segment] will be waived upon finding that on-site [within the Torrey Highlands Preserve Segment] is infeasible.

Torrey Highlands Acquisition and Preservation

A number of areas within the Torrey Highlands Preserve Segment currently support functional sage scrub, chaparral, native grasslands and wetland habitats. Other areas within the Preserve Segment are not yet good quality habitat but may naturally succeed to functional habitats by the time that mitigation lands are sought. Mitigation credits for these areas could be sold by the land owners to those seeking credits for comparable quality vegetation.

Torrey Highlands Restoration

A significant portion of the Torrey Highlands Preserve Segment supports non-native grassland and ruderal vegetation. These areas historically supported native habitats, and are well suited as potential restoration sites for sage scrub, chaparral, native grasslands and wetland habitats. Mitigation credits within the Preserve Segment may be created through two primary methods: enhanced natural recovery or active restoration.

If sufficient credits have not become established through natural recovery to offset the impacts associated with a specific development proposal, non-native areas within the Preserve Segment could be revegetated by hydroseeding, use of the duff reapplication method, or other appropriate methods intended to result in a more rapid establishment of the desired native vegetation. Appendix D of the Biological Resources Report: Restoration and Enhancement Plan (APPENDIX C of the Subarea Plan) contains a discussion of the key components of future revegetation plans including site selection and preparation, plant species, installation, and follow-up monitoring and maintenance requirements.

Acquisition and Restoration Within Proposed MSCP Preserve, Outside of Torrey Highlands

Should on-site compensation be infeasible, mitigation could be accomplished off-site (outside of Subarea but within the MSCP Preserve) by preserving an appropriate amount of comparable quality vegetation in an appropriate location per MSCP/RPO guidelines. This would focus on land within the MSCP Preserve outside of Torrey Highlands. Mitigation could also be achieved by revegetating disturbed land off-site with the appropriate amount of native vegetation.

Payment of Fees into a Habitat Acquisition Fund

Property owners may contribute into an acquisition fund where mitigation requirements are less than 10 acres. The fund may be established to allow the developer of an individual property with impacts to sensitive habitats to pay a fee for habitat acquisition in lieu of outright purchase of a portion of the MSCP Preserve. This would have the advantage of being able to pool financial resources from several property owners within Torrey Highlands in order to acquire larger portions of the MSCP Preserve. The fee will be determined by the City of San Diego, and be based on the appraised value of the properties within a similar geographic area of the MSCP Preserve.

Additional Mitigation Requirements

In addition to the aforementioned mitigation requirements, other mitigation measures may be required in order to address those indirect impacts of development which have the potential to adversely affect the viability and effectiveness of the MSCP system.

Appropriate fencing or other barriers to be reviewed at the specific project level may be required to control access to the Preserve Segment from human and domestic animal intrusion but fencing will be located so as to allow for continued wildlife movement through the Torrey Highlands Preserve. Fencing, or other types of barriers constructed as backyard fencing for development areas, will normally be sufficient.

Equestrian and hiking trails will be located to minimize impacts to areas supporting sensitive biological resources.

Lighting within development projects adjacent to conserved habitat will be selectively placed, shielded, and directed away from all habitat. In addition, lighting from homes abutting conserved habitat will be screened with vegetation, and large spotlight-type lighting that may affect conserved habitat will be prohibited. These regulations will be incorporated into project CC&Rs.

Property owners who own land within the Torrey Highlands Preserve Segment shall not disturb any land within the Preserve boundary. Any planting that occurs within the Preserve must consist of plant materials that are compatible with the native plant communities within the Preserve as part of an approved revegetation/restoration plan. Long-term maintenance of the lands within the Torrey Highlands Preserve Segment shall be the responsibility of the owner(s) in fee title. An alternative method of comprehensive revegetation may be accomplished through a Landscape Maintenance District.

2.6 URBAN AMENITY OPEN SPACE

Open space amenities, as illustrated in FIGURE 2-2, are located within developed areas of the community and include active and passive open spaces that are not part of the Torrey Highlands Preserve Segment. Passive open spaces outside of the Preserve retain the character of existing resources located inside of the Preserve and/or provide connections to off-site open space areas. These open spaces shall preserve and integrate an estimated 11.0 to 12.5 acres of existing riparian habitat beyond those designated in the Preserve. Fifty-foot biological buffers and 50-foot planning buffers shall be established adjacent to the preserved riparian habitat to protect the wildlife value of these areas. The biological buffer will be left in a native state, while the planning buffer may include fuel modification zones and passive recreational uses. Fencing shall be installed along the outside edge of the biological buffer near private residences or where otherwise deemed necessary and appropriate.

2.6.1 Urban Open Space Policies

- Provide safe and convenient pedestrian paths and bikeways that connect open spaces, schools, parks, commercial areas, and residential areas
- Provide open space amenities to retain the character of existing resources and to provide connections to off-site open space areas
- Preserve riparian habitats within the open space amenities by maintaining a 50 foot biological preservation buffer and a 50 foot transitional planning buffer; only native or existing vegetation shall be allowed in the biological buffer; fuel modification and passive recreation are permitted within the planning buffer; contour grading is permitted only within the transitional planning buffer, but should be limited as much as practical
- Avoid direct impacts to wetlands to maximum extent practicable; impacts shall be fully mitigated and limited to road crossings and other essential services (i.e. gas, water, and sewer lines)

Urban Open Space Features

Open space amenities are intended to achieve at least one of the following purposes:

- Retain unique topographic features and mature stands of trees
- Provide open space connections to off-site open space areas
- Protect and preserve watercourses and wetland habitat occurring outside of the Torrey Highlands Preserve

Three areas within Torrey Highlands have been designated as open space amenities and are identified as OS #1 through #3 in FIGURE 2-2. Guidelines for trails, edge treatments and landscaping within urban open space are discussed in Chapter Five (Community Design Guidelines.)

Open Space Amenity #1 is located south of Carmel Valley Road, near the western boundary of Torrey Highlands. This feature contains a seasonal drainage way and wetlands vegetation which continues off-site to the west into the MSCP Preserve within the Pacific Highlands Ranch.

Open Space Amenity #2 is in the northeast section of Torrey Highlands between Camino Ruiz and the eastern boundary of Torrey Highlands. This open space contains a seasonal drainage way and some wetland vegetation. An unpaved equestrian trail is proposed to connect with the Rancho Penasquitos open space system and Black Mountain Regional Park.

Open Space Amenity #3 is in the southeast portion of Torrey Highlands, north of SR-56, south of Mesa Verde Middle School, and east of Camino Ruiz. This open space contains a seasonal drainage way.

All three open space amenities will be subject to City, State and Federal regulations governing wetlands.

CHAPTER THREE: CIRCULATION

GOAL:

Ensure a safe and efficient transportation system that integrates within the existing regional system and minimizes impacts to residential neighborhoods and environmentally sensitive areas.

3.1 IMPLEMENTING PRINCIPLES

- Provide for a transit center which will encourage the use of alternative forms of transportation such as public transit, car/van pools and other transportation demand management measures to reduce both roadway congestion and pollution
- Provide a system of trails, bikeways and pedestrian facilities that is the focal point of the community, links community activity centers and encourages alternatives to automobile use
- Ensure timely provision of a local circulation system to accommodate planned growth at acceptable levels of service
- Provide a land use pattern and circulation system that optimizes potential opportunities for transit use
- Provide for future transit use along Carmel Valley Road and State Route (SR) 56

3.2 REGIONAL CIRCULATION

Freeways: Torrey Highlands is centrally located between Interstate 5, four miles to the west, and Interstate 15, 2.5 miles to the east (FIGURE 3-1). The freeways are part of the major north/south circulation system in San Diego County and accommodate more than 500,000 average daily trips (ADT).

State Route (SR) 56 is ultimately planned as a six-lane freeway connecting Interstates 5 and 15 through the NCFUA. Segments of SR-56 to the west (in Carmel Valley) and to the east (in Rancho Penasquitos) are completed.

Through Torrey Highlands, SR-56 is estimated to carry between 69,000 and 95,000 ADT under cumulative build-out conditions (2012).

Major Roads: Circulation roads within Torrey Highlands which provide connections to adjacent communities include Carmel Mountain Road, Camino Ruiz, and Carmel Valley Road.

3.3 TORREY HIGHLANDS CIRCULATION

As illustrated in FIGURE 3-2, the Torrey Highlands Circulation Plan identifies an alignment for

SR-56, as well as alignments for major roadways and collectors.

Figure 3-1
Existing Regional Circulation

Figure 3-2
Trails and Circulation Map

3.3.1 Circulation Roads

State Route 56 Freeway

The approved alignment for SR-56 bisects Torrey Highlands in a northwesterly direction. This freeway will ultimately accommodate six travel lanes, with interchanges located at Camino Ruiz and at Camino Santa Fe in Pacific Highlands Ranch (Subarea III). Initially, SR-56 will be constructed as a 4-lane freeway and will include the completion of the interchange at Black Mountain Road and a bike path running adjacent to the south side of the freeway.

Major Roads

Camino Ruiz is a north/south road located in the eastern third of Torrey Highlands, serving both local and regional demands. The road will continue north of Torrey Highlands to serve as one of the major north/south arterials between Interstates 5 and 15 serving the mid-county area. An interchange is proposed at SR-56. Within Torrey Highlands, Camino Ruiz is planned as a 6-lane major road from Carmel Valley Road to the southernmost project access road (i.e. "B" Street south).^{*} Between the southernmost project access road and the primary Regional Commercial access, Camino Ruiz will be planned as a 6-lane primary arterial. North of Carmel Valley Road and south of SR-56, the road transitions from Carmel Valley Road to a 4-lane major road. Camino Ruiz will provide access to SR-56 for the southwest portion of Rancho Penasquitos. Estimated ADT ranges from 22,000 to 41,000 north of SR-56; and 10,000 to 27,000 south of SR-56.

Carmel Valley Road is designated as a 4-lane, east/west major roadway within the northern half of Torrey Highlands, which will ultimately extend from Del Mar Heights Road and Camino Santa Fe on the west to Camino del Norte in the east. Several Torrey Highlands neighborhoods will take direct access from Carmel Valley Road. While the road will be constructed for 4 lanes, right-of-way sufficient for 6-lanes will be reserved to include 2 lanes for future transit use. Estimated ADT through Torrey Highlands is approximately 22,000.

Del Mar Heights Road is the western extension of Carmel Valley Road that occurs off-site within the western portion of Subarea III and the community of Carmel Valley. The road ultimately provides a connection with Interstate 5 and the City of Del Mar to the west. Estimated ADT on Del Mar Heights Road east of El Camino Real is between 24,000 and 33,000 ADT. West of El Camino Real and east of Interstate 5, ADT reaches 41,000 to 43,000.

Carmel Mountain Road is designated as a four-lane major roadway that connects Rancho Penasquitos in the east to Camino Ruiz, south of SR-56.

Collectors (As illustrated in FIGURE 3-2)

Collector streets are required to accommodate projected traffic volumes within Torrey Highlands to carry traffic onto the major circulation streets.

^{*} Camino Ruiz will initially be constructed to a maximum of 4 lanes, with 2 additional lanes of ROW provided in the median should traffic counts require future road expansion to 6 lanes.

Street “A” is a 2-lane collector which will serve the Employment Center and the surrounding residential areas. Full access is available at Camino Ruiz.

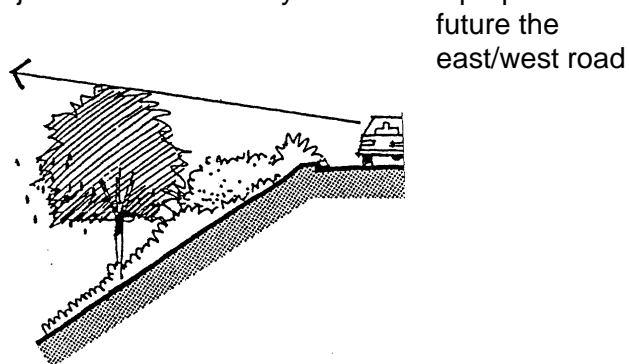
Street “B” is a 4-lane collector located along the northern edge of the Local Mixed Use Center. It serves the Local Mixed Use Center, neighborhood park, elementary school, and the surrounding residential areas. Street “B” will be extended over SR-56 as a two-lane collector road to provide a direct connection between the residential uses planned south of SR-56 and the public facilities planned north of SR-56.

Local Streets

Street patterns within each area or neighborhood of Torrey Highlands will vary in response to site features, topography, and land use types and organizations. Chapter Four (Land Use) and Chapter Five (Community Design Guidelines), provide guidance that will integrate sufficient density levels and varied housing types to arrive at a fine grain mix of residential development. Based on the projected traffic volumes, future residential streets will be local streets and will be part of an integrated system comprising roads, bike paths and pedestrian ways. Where possible, single-loaded streets adjacent to the proposed MSCP Preserve will provide additional buffer to the open spaces and provide view opportunities from the public rights-of-way. Although precise locations and layout of local streets will be determined as part of subsequent site-specific development proposals, a grid pattern or modified-grid pattern will be used where topography allows to promote alternate routes to each destination (see illustrations in Chapter 5, Community Design Guidelines). Major residential collectors are limited to those discussed above and shall not bisect neighborhoods. Cul-de-sacs are encouraged.

When the Very Low Density area adjacent to the proposed MSCP Preserve on the western edge of the Northern Neighborhood is developed, local circulation should be designed to provide access to four existing residences on Mira Zanja Corte. This would allow the possible vacation of the east/west portion of Mira Zanja Corte that currently crosses the proposed MSCP system if at some point in the present nursery uses that utilize that are abandoned.

*Single loaded streets adjacent
to proposed MSCP Preserve*



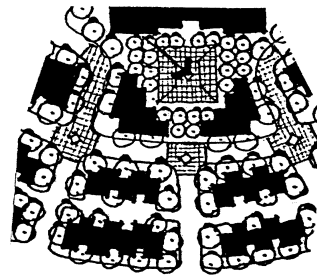
3.3.2 Circulation Policies

- Contribute fair share financing for transportation facilities necessary to serve demand created by Torrey Highlands, as provided for in the Torrey Highlands Public Facilities Financing Plan
- Continue discussions with Metropolitan Transit Development Board (MTDB) and enlist the agency's support to find ways to provide for transit infrastructure

and operations

Figure 3-3
Neighborhood Circulation Concept

- Limit points of ingress and egress to neighborhoods from Carmel Valley Road and Camino Ruiz to those designated on FIGURE 3-2, or as approved by the City Engineer, which will optimize traffic flow
- Prohibit parking on arterial and major circulation element roads
- Accommodate wildlife corridors and under crossings through road design and alignment considerations
- Within the LMXU, design a neighborhood street hierarchy based on a modified grid system, that provides alternate routes and connections to schools, parks and neighborhood focal points; provides for pedestrian, bicycle (and, where appropriate) equestrian trails; and minimizes cul-de-sacs
- Design roadways to minimize grading and the height of cut and fill slopes
- Design the LMXU and neighborhood streets to be pedestrian-oriented by incorporating narrower street widths, smaller radius curbs, wider sidewalks, street furniture, and street plant species



Pedestrian Oriented Streets

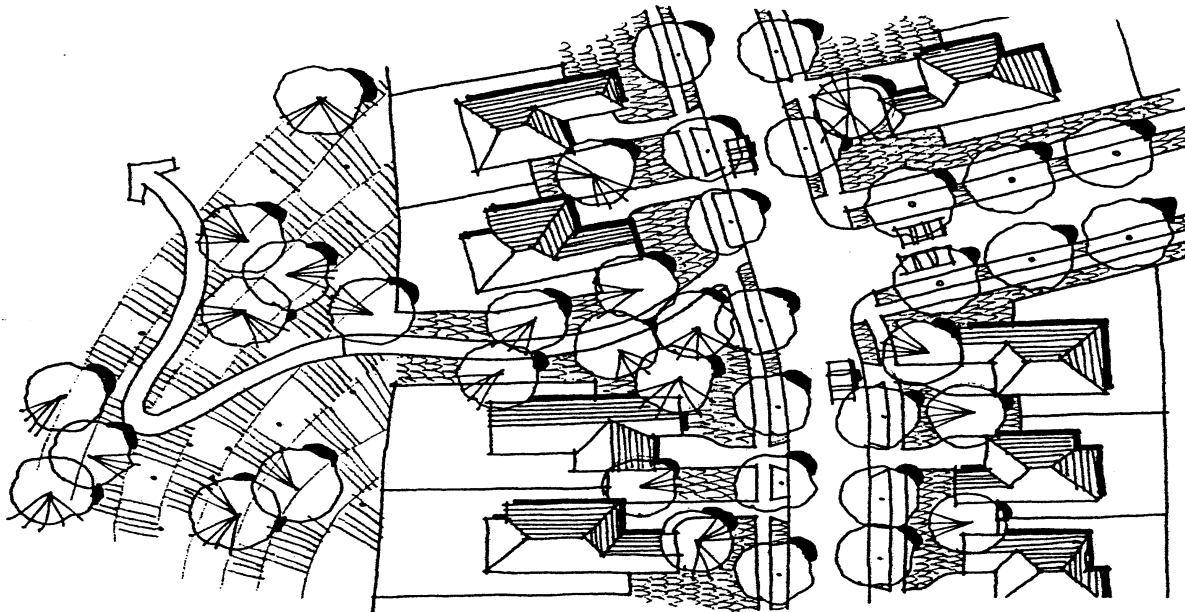
For additional design criteria, see residential and circulation design policies in Chapter Five (Community Design Guidelines).

3.4 TRANSPORTATION ALTERNATIVES

3.4.1 Trails

A system of regional and local bicycle/pedestrian/equestrian trails and paths are incorporated as a critical component of the Torrey Highlands Subarea Plan. The trail system includes paved pedestrian trails, improved multi-purpose trails (pedestrian, bike and equestrian trails), and unpaved equestrian and hiking trails.

Several connections will be provided to enable users to easily move from one trail system to the other. The paved system will provide linkages with Black Mountain Ranch, Rancho Penasquitos, and developed areas including the LMXU. The improved multi-purpose trail will follow the open space amenity areas and also connect to Rancho Penasquitos. The unpaved trail system will generally be located along the edge of the north side of the Preserve and along utility easements within the Preserve. It will provide linkages to the proposed San Dieguito River Valley Park in La Zanja Canyon, the MSCP Preserve within Subarea III and Black Mountain Ranch, and selected neighborhood parks. Figure 3-2 illustrates the trail system.



Trail connection to the proposed MSCP Preserve

Paved

Class II bicycle lanes will be provided within the right-of-way of Camino Ruiz and Carmel Valley Road. Paved paths that will accommodate pedestrians and bicycles will occur along the east side of Camino Ruiz and the south side of Carmel Valley Road. These paved paths are 10- feet in width, and must be within the 20 foot landscaped parkway. The trails will be buffered from street traffic by plant species of street trees and low growing shrubs within the parkway. The street tree locations within the parkway and sidewalk alignment must be approved by the City Engineer to ensure that the required site distances are provided. The paved trails which are constructed with SR-56 should be located on the north side of the freeway to allow access to the community. The paved trails will connect to the sidewalks as part of the local street system, as well as the unpaved trails which are part of the open space system. By incorporating a comprehensive trail system each neighborhood of Torrey Highlands will have access to the Local Mixed Use Center, schools, neighborhood parks, and other public facilities and community focal points.

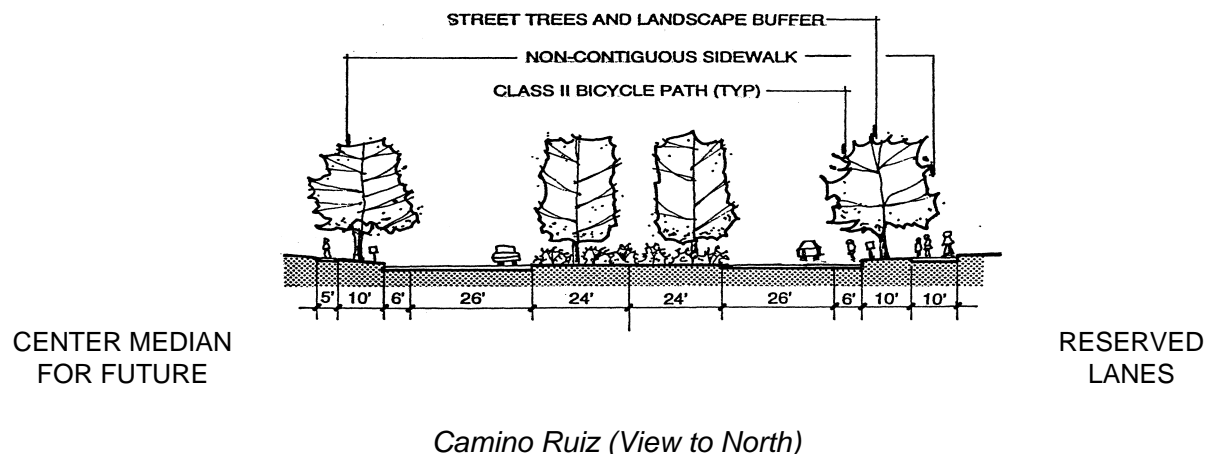


Figure 3-4
Street Sections

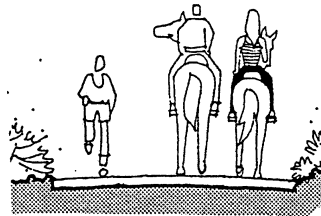
Improved Multi-Purpose

Unpaved trails which consist of compacted decomposed granite (or similar material) will be provided to accommodate pedestrians, bicycles, and strollers and will be ADA compliant. These trails will connect with the existing cul-de-sacs that are adjacent to Torrey Highlands in Rancho Penasquitos. Compacted material trails will also be used in limited locations within the Torrey Highlands Preserve Segment to provide ADA access to portions of the Preserve.

Unpaved

Unpaved, multi-purpose trails occur within the Torrey Highlands Preserve to accommodate hiking, biking, and equestrian travel. The trails will generally follow the contours along the inside edge of the north side of the Preserve to avoid unnecessary grading. A trail will also follow the sewer trunk easement access road located within the Preserve and a trail connection will be provided within the SDG&E easement near the southwest edge of Torrey Highlands. Where the Torrey Highlands Preserve branches, near the high school, the trail shall follow the south edge of the Preserve to provide access to the adjacent high school. An unpaved trail will be allowed within the Carmel Valley Road under crossing.

Unpaved trails throughout the Preserve



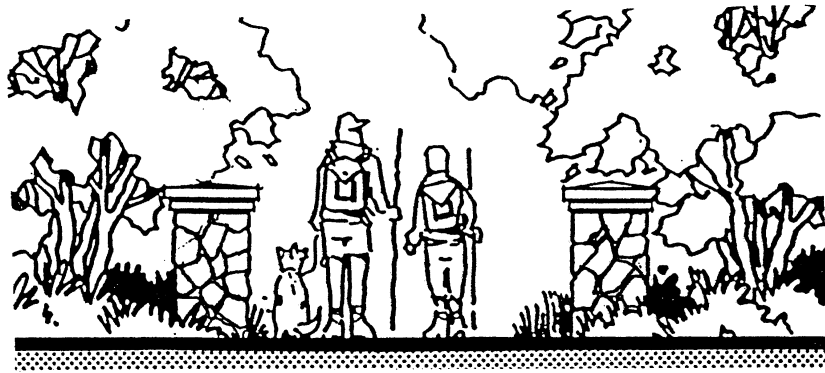
During subsequent discretionary review, all trails within the Preserve will be aligned based on the trail system adopted in this plan to avoid impacts to existing sensitive species. The unpaved trails will provide linkages between the central, northern and eastern neighborhoods by permitting crossings of the Preserve at specific locations. A single small bridge shall be provided for a crossing in the bottom of the canyon. The bridge shall be located to avoid impacts to sensitive vegetation and its design shall require environmental review. The exact location of the crossings should also coincide with utility easements that will be required for connecting sewer pipes to the existing sewer trunk.

As recommended in the City of San Diego MSCP Subarea Plan, public education shall be a component of all preserve recreational activities. Unpaved trails within the Torrey Highlands Preserve shall include interpretive signs to inform the pedestrians about the purpose of the Preserve and also to identify the natural flora and fauna, consistent with MSCP trail policies.

Unpaved trails will also be provided in the open space amenity areas including one located north of Adobe Bluffs Elementary School (Open Space #2) and another east of Camino Ruiz near the SR-56 interchange, (Open Space #3). These open spaces are discussed in more detail in Chapter Two (Open Space.)

3.4.2 Trails Policies

- All neighborhoods will be connected by a system of trails
- Link the trails and paths in Torrey Highlands with trails and paths located in adjacent communities and surrounding regional systems, as designated in this plan
- Provide paths that connect residential areas to the LMXU to encourage alternate means of travel



- Design pathways that provide through connections and/or loops
- Post signage at regular intervals along the trails to inform pedestrians, equestrians and bicyclists of correct trail use

Trail identification signage

- Design trail drainage inlet grates, manhole covers, etc. to avoid injuries to trail users
- Provide at-grade trail crossings at signalized intersections
- Locate bicycle storage facilities within the LMXU, at transit stations and bus stops
- Locate all paved trails in public rights-of-way and unpaved trails in open space areas

3.4.3 Transit System

Bus transit plans for the Torrey Highlands area will be coordinated with the Metropolitan Transit Development Board (MTDB) to strongly encourage bus service at the earliest stages of development for area residents. Transit facilities such as waiting areas, shelters, and commuter park and ride parking areas shall be provided by developments as deemed

appropriate by MTDB.

3.4.4 Transit System Policies

- Provide for possible transit/bus shelters along major roads adjacent to the LMXU and near the Employment Center, and public facilities
- Integrate transit stops into the LMXU and ensure direct connections from the station to the center of the mixed use area
- Design transit shelters that are user friendly and architecturally compatible with surrounding neighborhood character/theme
- Locate bicycle storage facilities at shelter facilities
- Provide transit stops at major cross streets along Carmel Valley Road

CHAPTER FOUR: LAND USE

GOAL:

Create a community that is a step toward implementing the concept of a neo-traditional community as described in the Framework Plan, incorporating planning, design and transportation principles to promote multi-modal transportation options, and which is designed around a functional open space system.

4.1 IMPLEMENTING PRINCIPLES

- Provide a critical corridor for the regional MSCP open space system that serves as a wildlife linkage between regional parks and preserves, as well as a multi-resource habitat preservation area
- Create neighborhood focus through the use of pedestrian oriented design principles including narrow streets, cul-de-sacs, shallow set-backs, alternative route selection, and circulation patterns which emphasize bicycle, equestrian, and pedestrian trails as the focal point of the community
- Provide an employment center as a means to create a balance between the provision of new housing and the creation of places where those residents may work
- Provide housing units available to families with median incomes substantially below the regional average as provided for in the NCFUA Framework Plan
- Incorporate the City of San Diego Transit Oriented Design Guidelines to reduce the dependency on private automobiles and encourage alternative forms of transportation such as walking, bicycles, equestrian, and possibly mass transit

The land use patterns and guidelines set forth in this section have been established to provide for the orderly development of the Torrey Highlands community. They are intended to guide development while providing flexibility throughout the long-term build-out of the Subarea. The description of land uses and land use siting policies address the arrangement of commercial, residential and employment center uses consistent with the intent, purpose and goals of the City's Progress Guide and General Plan, as amended by the NCFUA Framework Plan. Development of the Torrey Highlands Subarea Plan is specifically intended to build upon the Framework Plan land use map and policies and to establish compatible relationships among land uses.

4.2 LAND USE DESIGNATIONS

4.2.1 Land Use Plan

The Torrey Highlands Land Use Plan is depicted in FIGURE 4-1. The land use legend is FIGURE 4-2. The land use designations and recommended uses for each category are described in TABLE 4-1. TABLE 4-2 summarizes land use acreage.

Figure 4-1
Land Use Plan

Figure 4-2
Land Use Legend

TABLE 4-1

Torrey Highlands Land Use Designations and Uses

LAND USE	RECOMMENDED USES	COMMENTS
COMMERCIAL AREAS		
Local Mixed Use Center (LMXU)	<p><u>Commercial:</u> Major Grocery and Drug stores, pedestrian oriented shops and stores including restaurants (no drive-through type uses allowed in this area.)</p> <p><u>Civic:</u> Small postal services and non-profit and government services, plazas and village greens.</p> <p><u>Residential:</u> Multi-family housing and mixed use residential units interspersed with ground floor commercial.</p>	<ul style="list-style-type: none">• The LMXU is 43.5 acres including 132,000 SF of commercial and up to 475 residential units.• PDP required.• Trails and pedestrian links to residential areas are required to be integrated with LMXU.• Pedestrian oriented design techniques as adopted by the City of San Diego including architectural interest, landscaped pedestrian walks and outdoor sitting areas.
Commercial Regional (CR)	Commercial Regional includes a broad range of commercial uses including: neighborhood serving commercial, area serving retail, automotive service, commercial recreation facilities, visitor serving commercial, and offices. (See page 42 for limitations)	<ul style="list-style-type: none">• PDP required.• Final SR-56 alignment required prior to discretionary approval for development.• Commercial provides space for large-scale uses which require sites primarily served by vehicular access.• 23 acre site with 250,000 SF of commercial.• 2 acre site with 10,000 SF of commercial not to exceed 6,000 ADT.
Commercial Limited (CL)	Religious facilities, trade schools, storage, veterinary clinics, nurseries and garden centers.	• Discretionary review to ensure compatibility with adjacent Deer Canyon.
Commercial Neighborhood (CN)	Gas station, convenience store, boutiques, specialty retail, business or professional offices, small cafes and restaurants.	<ul style="list-style-type: none">• NC is 1.5 acres.• PDP required.

TABLE 4-1**Torrey Highlands Land Use Designations and Uses**

LAND USE	RECOMMENDED USES	COMMENTS
Employment Center (EC)	<p>Scientific research, corporate headquarters, research and development, light industrial/manufacturing, light warehousing uses, professional and corporate offices, hotel (up to 150 rooms), ancillary uses which may include: day care facilities, small restaurants, health club, gas station, car wash.</p> <p>Ancillary uses limited to 15-20% of the Employment Center area.</p>	<ul style="list-style-type: none"> · PDP required. · Final SR-56 alignment required prior to discretionary approval for the development. · Trail connections shall be provided to the Local Mixed Use Center.
RESIDENTIAL AREAS		
LMXU Residential	Single-family (SF), small lot SF with second unit, duplex, triplex, attached townhouses.	<ul style="list-style-type: none"> · PDP required. · Density to increase near the commercial part of LMXU. · Vertically mixed residential/commercial encouraged.
Low to Moderate Density Residential (LMD) 5-10 du/ac	SF (conventional lot sizes); small lot SF with second unit; neighborhood parks; schools; places of religious assembly; day care; group housing.	· PDP required.
Low Density (LD) 2-5 du/ac	SF estate lots; SF clustered; neighborhood parks; schools; places of religious assembly; day care; group housing.	· Residential lots on the east side of Camino Ruiz and within 500 feet of Rancho Penasquitos must be 7,500 square foot minimum lots.*
Very Low Density (VLD) 1 du/ac or less	SF estate lots; SF clustered; neighborhood parks; schools; places of religious assembly; day care; group housing.	· Residential development adjacent to the SDG&E easement and potential substation site shall utilize appropriate setbacks and lot design as recommended by SDG&E.

* The minimum lot size for Low Density residential within Parcel #306-021-05 is 5,000 square feet.

TABLE 4-2

Torrey Highlands Land Use Acreage

		DU or ACRES
	RESIDENTIAL:	2,600 D.U.
VLD	VERY LOW DENSITY (LESS THAN 1 DU/ACRE)	28.3 ACRES
LD	LOW DENSITY (2-5 DU/ACRE)*	399.75 <u>371.1</u> ACRES
LMD	LOW MODERATE DENSITY (5-10 DU/ACRE)	52 <u>80.6</u> ACRES
LMXU	LOCAL MIXED USE	43.5 ACRES
CN	COMMERCIAL NEIGHBORHOOD	1.5 ACRES
CR	COMMERCIAL REGIONAL	25 ACRES
CL	COMMERCIAL LIMITED	10.5 ACRES
EC/TC	EMPLOYMENT CENTER/TRANSIT CENTER	34 ACRES
	SCHOOLS:	
ES	ELEMENTARY SCHOOL (EXISTING)	12 ACRES
MS	MIDDLE SCHOOL (EXISTING)	30 ACRES
ES	ELEMENTARY SCHOOL (PROPOSED)**	11 ACRES
HS	HIGH SCHOOL (PROPOSED)	68.5 ACRES
MS	MIDDLE SCHOOL (PROPOSED)***	0.25 <u>0.3</u> ACRES
P	NEIGHBORHOOD PARK	10 ACRES
R	RESOURCE (MSCP)	273 ACRES
OS	OPEN SPACE	11 ACRES
ROW	RIGHT-OF-WAY	120 ACRES
U	UTILITIES	3.7 ACRES
	TOTAL	1134 ACRES

* TOTAL LOW DENSITY ACREAGE DOES NOT INCLUDE ACREAGE FOR THE UNDERLYING LD ACREAGE DESIGNATED FOR SCHOOLS

** ELEMENTARY SCHOOL AND HIGH SCHOOL DESIGNATED AS LD FOR UNDERLYING LAND USE. DEVELOPMENT OF THE SCHOOL SITE AS LD WILL REQUIRE A REZONING OF THE PROPERTY TO IMPLEMENT THAT DESIGNATION

*** APPROX. 10 ACRES OF PROPOSED MIDDLE SCHOOL LOCATED IN FAIRBANKS HIGHLANDS, 15 ACRES LOCATED IN SUBAREA I

4.2.2 Local Land Uses

A. Local Mixed Use Center

The Torrey Highlands community will be focused around its Local Mixed Use Center (LMXU). The LMXU concept concentrates more intense land uses and densities in the southeastern portion of the community, surrounded by low density residential and associated open spaces. The LMXU fosters interaction among community residents by providing a mix of commercial, office and public uses within 1,000-feet of the majority of the residential population. The LMXU is located at the intersection of Camino Ruiz and SR-56. Although located near the freeway, the LMXU will not be a freeway oriented commercial development. Vehicular access to the LMXU is only available via Camino Ruiz or one of the collector roads; direct access from SR-56 is not provided. Parking for the commercial uses within the LMXU will be near the intersection of Camino Ruiz and the freeway. This will allow easy access for those arriving by vehicle, but not impede pedestrians arriving from within Torrey Highlands or via the trail system.

Typically, the dominant commercial anchors of Local Mixed Use Centers are usually a grocery store and drug store. Other commercial uses will consist of retail on the first floor with professional services on the second floor. A public plaza and community room shall be located near the center of the LMXU to further foster pedestrian activity and provide a sense of community. As the Local Mixed Use Center radiates outward, the land use will include a vertical mix of retail on ground floor with residential above some areas.

A wide range of housing types and affordability will be provided in the LMXU including town homes, apartments, duplexes, single-family residential with accessory units, and small-lot single family. Residential density will decrease as the distance from the commercial center increases. Neighborhood parks and schools will be linked to the Local Mixed Use Center with clear pedestrian paths and access ways. Two of the new schools will be located in close proximity to the LMXU as well.

To assure development consistent with this Subarea Plan and with other applicable City documents and ordinances, development within the Local Mixed Use Center will require approval of a PDP (Planned Development Permit), or its successor, permit concurrent with rezoning of the property. Specific design and development policies for the LMXU are contained in Chapter Five (Community Design Guidelines).

Northern LMXU Parcel

The Northern LMXU parcel is approximately 1.5 acres and is located in the northwestern quadrant of the Camino Ruiz and Street "B" intersection. The uses anticipated for the site are neighborhood-serving in nature and could include uses such as coffee house, sandwich shop, dry cleaners and video store. The Design Guidelines for the Crossroads Neighborhood Commercial Center and a conceptual site plan have been approved for this parcel. To assure development consistent with the guidelines and other applicable ordinances, development of this parcel will require approval of a site specific PDP.

B. Residential Areas

Intent: Torrey Highlands will accommodate a maximum of 2,600 dwelling units in a mix of densities, affordability and residential housing types. The use of Very Low Density and Low Density housing on the periphery of Torrey Highlands allows new development to be compatible with the existing surrounding communities. The intent of concentrating density within 1000-feet of the commercial uses in the LMXU is to reduce reliance on private automobiles, increase

pedestrian activity and enhance the viability of the commercial uses. Densities will be highest near the commercial uses in the Local Mixed Use Center and will decrease with distance from the major activity centers. Up to 475 units may be located in the LMXU.

All residential areas will be connected to major land use destinations such as shopping, jobs, schools, parks and open space through a well-planned system of trails, bikeways and streets, (See Chapter 3: Circulation). Specific residential design guidelines and streetscape policies are contained in Chapter Five (Community Design Guidelines).

Density Ranges: TABLE 4-1 describes the density range for each residential designation. The density for each designation shall not be exceeded.

Low to Moderate Density Residential

Single-family homes will be the predominant use in the Low to Moderate density residential neighborhood. Average gross densities will range from 5 to 10 dwelling units per acre. A range of dwelling unit types will be allowed, including conventional single-family dwellings, small-lot developments, single-family with accessory units, duplexes, triplexes and town homes. While multi-family developments will be a permitted use based on overall density, the predominant development will be single-family. A well-planned system of trails connects the residential areas with the neighborhood parks, the open space system and with other destinations including schools and the Local Mixed Use Center. Chapter Five (Community Design Guidelines) contains site design and development guidelines to achieve a mix of housing types.

Low Density Residential

Areas of Torrey Highlands designated Low Density residential will allow single-family development at average gross densities of 2 to 5 dwelling units per acre. Dwelling unit types may include single family; single-family with companion units; and clustered development.

Low Density residential areas on the east side of Camino Ruiz, and within 500-feet west of the Rancho Penasquitos community, will relate to existing residential development in Rancho Penasquitos through the use of minimum lot sizes of 7,500-square feet* and compatible scale and type of building. Additional design policies are contained in Chapter Five (Community Design Guidelines).

4.2.3 Subregional Land Uses

Torrey Highlands' projected population of approximately 7,280 persons – together with projected population from the entire North City Future Urbanizing Area and existing communities – creates demand for a centralized area to provide subregional goods, services and job opportunities.

The subregional uses are located to take advantage of:

- One of the two freeway interchange locations (Camino Ruiz and SR-56) within the NCFUA
- The absence of comparable uses in the adjacent community of Rancho Penasquitos

* The minimum lot size for Low Density residential within Parcel #306-021-05 is 5,000-square feet.

Subregional facilities including an Employment Center, Commercial Limited and Commercial Regional uses are sited in the southern portion of Torrey Highlands. Their location takes advantage of freeway proximity.

Employment Center

The commute from home to work typically generates approximately one-third of all automobile trips; by providing an Employment Center within Torrey Highlands, a reduction in traffic may be possible. The Employment Center will contribute to an employment base for the North City. The close proximity of the Employment Center to the Local Mixed Use Center and residential areas will decrease the dependency on private automobiles for residents of Torrey Highlands. The Employment Center area is estimated to include 600,000 square feet and may contain:

- Scientific research, and research and development uses
- Light industrial and manufacturing uses
- Professional and corporate office uses
- Business support and other convenience facilities
- Drive-through services are not permitted in the Employment Center

The provisions for business support and other convenience facilities is an essential element of the Torrey Highlands Employment Center. These support facilities provide services and products to employees without competing with the LMXU.

The Employment Center may also integrate design considerations in the event that transit services the area. As of June 1996, the Metropolitan Transit Development Board (MTDB) has indicated that it will not provide transit services to the community. However, transit support facilities should be incorporated within the Employment Center to allow for private shuttles or eventual service by MTDB. MTDB will make the actual determination when and under what circumstances transit service will be provided to the community prior to the issuance of tentative maps associated with the Employment Center site.

Siting and design guidelines for the Employment Center is contained in Chapter Five (Community Design Guidelines).

Commercial Regional

There are two separate and distinct regional commercial areas identified in the Torrey Highlands Community. The primary Commercial Regional area covers approximately 23 acres north of the intersection of Camino Ruiz and Carmel Mountain Road, and the northern Commercial Regional area covers approximately 2 acres at the southeastern quadrant of the intersection of SR-56 and Camino Ruiz. Commercial Regional uses include: neighborhood serving commercial uses, area serving retail sales, automotive uses, commercial recreation facilities, visitor serving commercial uses, and offices.

The Commercial Regional location benefits from the high visibility of the major routes including SR-56 and Camino Ruiz, easy access through the SR-56 / Camino Ruiz interchange, and central location within the region.

The primary Commercial Regional area allows for a broad range of retail commercial uses and is intended to serve both the Torrey Highlands and Rancho Penasquitos communities. Up to 250,000 square feet of commercial development will occur on approximately 23 acres with the current alignment of Carmel Mountain Road and Camino Ruiz. Even if the acreage of the

Commercial Regional site should increase based on the final alignments of Carmel Mountain Road and Camino Ruiz, the commercial square footage will remain at 250,000 square feet.

It is intended that the acreage of the adjacent Neighborhood Commercial site in the Rancho Penasquitos Community Plan, located south of the final alignment of Carmel Mountain Road, will be designated to Low Density Residential use conditioned on the development of a broadened range of commercial uses in the Torrey Highlands Commercial Regional site. If the Neighborhood Commercial site in Rancho Penasquitos is not redesignated to residential use, then a maximum of 250,000 square feet of commercial development shall occur between the Rancho Penasquitos Neighborhood Commercial site and the Torrey Highlands Regional Commercial sites combined, with a major grocery store allowed on the Neighborhood Commercial site in Rancho Penasquitos, but restricted from occurring on the Torrey Highlands Regional Commercial site. The remainder of the sites in both plan areas shall be developed as residential.

The northern Commercial Regional area is designated for auto-oriented Commercial regional uses. Development of this parcel is restricted to a maximum of 10,000 square feet and 6000 average daily trips (ADT). The Design Guidelines for the Freeway Oriented Commercial Regional Center and two conceptual site plans, illustrating potential development phases, have been approved for this parcel. To assure development consistent with the guidelines and other applicable ordinances, development of this parcel will require approval of a site specific Planned Development Permit (PDP) and any necessary use permits.

Chapter Five (Community Design Guidelines) contains specific siting and design guidelines for the Commercial areas.

Commercial Limited

Approximately 10.5-acres west of Camino Ruiz are designated for Commercial Limited uses. These uses are somewhat dependent on automobiles, but are appropriate for the more isolated location of this site.

This category of land use includes: religious facilities, trade schools, storage facilities, nurseries, garden centers, and veterinary clinics.

4.3 LAND USE PATTERN

4.3.1 Land Use Concept

The Torrey Highlands community is based on a traditional planning concept which emphasizes bicycle, equestrian and pedestrian paths, and focuses community activities around this concept. Commercial, civic and residential uses will be integrated in the community core and the circulation element will accommodate pedestrian, bicycle, transit and equestrian access with comparable ease to what motorized vehicles enjoy. In addition, a diverse variety of housing options are provided to ensure that residential opportunities are available to accommodate a range of incomes from very low to very high. To achieve a fine-grained development pattern which will implement these planning principles, Torrey Highlands is divided into four distinct planning areas as shown in FIGURE 4-3 and described below:

- A Northern Neighborhood including 1.5-acres of Neighborhood Commercial and a 5-acre neighborhood park
- A Central Neighborhood including residential areas and a 43.5-acre Local Mixed Use Center, neighborhood park, elementary school, and a high school
- An Eastern Neighborhood including the existing elementary school and middle school

-
- Subregional Area comprising the Employment Center, and Commercial uses near SR-56

Figure 4-3
Neighborhood Map

Northern Neighborhood

The Northern Neighborhood is located in the northwest portion of the Torrey Highlands planning area. The neighborhood is bordered by two canyons: La Zanja Canyon to the north and McGonigle Canyon to the south. An SDG&E power line and easement borders the area to the west.

Because of its more remote location and orientation to Carmel Valley Road, the Northern Neighborhood will develop a small, 1.5 acre Neighborhood Commercial site to serve the residential area. The Northern Neighborhood will also consist of the following:

- 1.5 acres of Neighborhood Commercial which may include a gas station, convenience store, boutiques, specialty retail, small business or professional offices, small cafes and restaurants
- A 5-acre neighborhood park adjacent to the Torrey Highlands Preserve Segment
- Trails connecting the Northern Neighborhood to the Torrey Highlands Preserve Segment, schools, neighborhood parks, and Local Mixed Use Center
- 97-acres Low Density (LD) residential (2-5 du/ac)
- 28 acres Very Low Density (VLD) residential (less than 1 du/ac)
- A 3.5 acre SDG&E substation site

Central Neighborhood

The Central Neighborhood is located in the middle portion of the Torrey Highlands planning area. The neighborhood is bordered by McGonigle Canyon to the northwest, Camino Ruiz to the east and Deer Canyon to the south.

The Central Neighborhood includes a 43.5-acre Local Mixed Use Center which has the potential to serve as a social hub for the entire Torrey Highlands community by providing a mixture of retail, commercial, civic, office and residential uses in a pedestrian-oriented design and scale. The size of this center responds to the greater population base and combination of land uses in the central neighborhood. It will be supported by adjacent Employment Center uses.

Overall, the Central Neighborhood will contain:

- A 43.5-acre Local Mixed Use Center consisting of:
 - A maximum of 132,000 square feet of neighborhood serving commercial
 - Up to 475 dwelling units
 - Restaurants
 - Businesses and professional offices
 - Provisions for transit
 - A significant, large scale landmark or focal point such as a public square plaza, or active outdoor recreation area

-
-
- An 11-acre elementary school with a child-care facility
 - A five-acre neighborhood park between the elementary school and high school
 - Trails connecting the Central Neighborhood to the MSCP Preserve, schools, neighborhood parks, and surrounding neighborhoods
 - Approximately ~~173~~ 144 acres of Low Density (LD) residential (2-5 du/ac)
 - Approximately ~~22~~ 51 acres of Low to Moderate Density (LMD) residential (5-10 du/ac)
 - Approximately 69 acres for a high school or other uses; if this area is not needed for school purposes, Low Density residential will be developed; development of the school site as Low Density residential will require a rezoning of the property to implement that designation

Eastern Neighborhood

The Eastern Neighborhood is located in the eastern portion of Torrey Highlands. The neighborhood is bordered by Rancho Penasquitos to the east, Black Mountain Ranch to the north, Camino Ruiz to the west, and SR-56 to the south.

The neighborhood will be connected to the Local Mixed Use Center in Torrey Highlands by Camino Ruiz as well as with pedestrian and bicycle paths. The open spaces will provide view opportunity for Low Density and Low Medium Density housing.

The Eastern Neighborhood will contain:

- The existing 12-acre Adobe Bluffs Elementary School
- The existing 30-acre Mesa Verde Middle School
- Trails connecting the Eastern Neighborhood to the Preserve corridor, schools, neighborhood parks, and surrounding neighborhoods.
- Approximately 29 acres of Low to Moderate Density (LMD) residential (5-10 du/ac)
- Approximately 120 acres Low Density (LD) residential (2-5 du/ac)

4.5 PARCEL YIELD

The maximum number of residential units to be constructed within Subarea IV is 2,693 of which Torrey Highlands includes 2,600 dwelling units. The Torrey Highlands Public Facilities Financing Plan has been prepared anticipating build-out of the 2,693 units in Subarea IV. TABLE 4-3 further reflects the anticipated allocation of the 2,693 units throughout Subarea IV by land ownership. It should be noted that TABLE 4-3 was prepared for illustrative and planning purposes only and does not create or vest any density entitlements. Therefore, the right to build with the densities reflected in TABLE 4-3 is contingent upon and subject to future discretionary approvals and rezonings. Parcels are keyed to FIGURE 4-4.

TABLE 4-3
Property Owner Residential Land Use Yield*

Parcel	DU	Notes
A	1	
B	73	
C	0	SDG&E
D	93	Fairbanks Highlands***
E	31	MS**
F	5	
G	94	
H	43	
I	43	
J	4	
K	0	Poway Unified School District
L	0	City of San Diego
M	65	
N	58	
O	133	
P	44	
Q	20	
R1 & R2	78	HS**
S	79	HS**+
T	62	
U	112	
V	55	
W	78	ES**
X	137	HS**
Y	168	
Z	137	7 LMXU Units
AA	348	338 LMXU Units /ES**
BB	463	119 LMXU Units /HS**
CC	0	
DD	0	
EE	0	
FF	269	
GG	0	
HH	0	
II	0	
JJ	0	
Total***	2693	

*Table 4-3 was prepared for illustrative and planning purposes only and does not create or vest density entitlements for any parcel or property ownership. Circumstances such as fixing road alignments or environmental preservation areas may have the effect of increasing or decreasing the net developable area of a parcel or property ownership. Therefore, the right to build consistent with the densities reflected in Table 4-3 is contingent upon and subject to future discretionary approvals and rezonings. [To the extent that development units up to the five unit per acre maximum yield are not achieved on a particular "LD" parcel or property ownership, they may be reallocated to the LMXU dwelling unit total up to the 475 allowable units referenced in the Subarea Plan.]

**The underlying land use for all properties designated as schools on the Land Use Plans (Figure 4-1) is LD residential. Any change to the location of the schools will result in the densities shown on the chart to be adjusted accordingly.

***93 dwelling units from Fairbanks Highlands are not a part of the phase shift, but are included in Subarea IV.

+ Includes 17 dwelling units transferred from area designated as MSCP.

Figure 4-4
Ownership Map

CHAPTER FIVE: COMMUNITY DESIGN GUIDELINES

GOAL:

Develop Torrey Highlands as a traditional community of distinct yet complementary neighborhoods, that emphasize: pedestrian-oriented design with close proximity and access to institutional, retail and employment center land uses; variegated residential product types from single-family estate to LMXU density multi-family attached in a fine-grained pattern; and unified open space elements.

5.1 IMPLEMENTING PRINCIPLES

- Employ sensitive landform alteration concepts throughout Torrey Highlands that will guide grading design, including contour grading, variable slope ratios and revegetation with native plant materials
- Utilize related landscaping, fencing and edge treatments throughout Torrey Highlands to connect the various neighborhoods and activity nodes and provide a coordinated street treatment on major streets throughout the NCFUA
- Vary building scale, architectural detail and landscape treatments in residential, commercial, and Employment Center areas to create an interesting and lively pedestrian environment
- Facilitate convenient non-motorized transportation access within the Torrey Highlands community through a multi-modal circulation system that incorporates direct, multi-purpose streets, as well as a trail system which accommodates bicycle, equestrian, electric vehicle and pedestrian access throughout the community
- Provide appropriate interfaces and transitions between differing land uses to minimize adverse impacts

The design guidelines set forth in this section have been established to provide for the orderly development of the Torrey Highlands Community. They are intended to provide design guidance while providing flexibility through the long-term build-out of the Subarea. The standards address the arrangement and development of commercial, residential and employment center uses consistent with the intent, purpose and goals of the City's Progress Guide and General Plan, including the NCFUA Framework Plan. Application of these guidelines is specifically intended to build upon the Framework Plan guidelines by creating harmonious relationships among land uses within the Subarea; within the rest of the NCFUA; within adjoining communities; and to protect the health, safety and welfare of the community.

While a coordinated and complementary design for Torrey Highlands community is desired, a particular design theme is not specified.

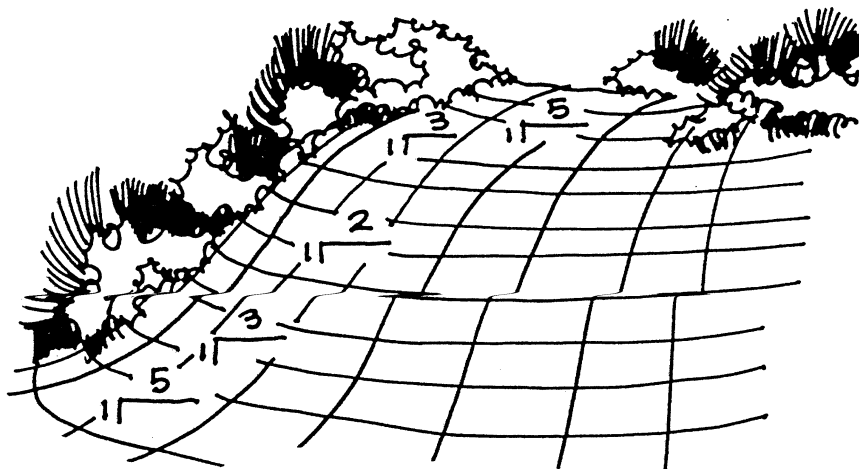
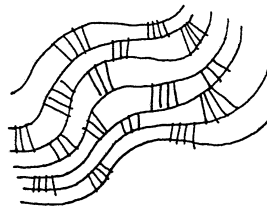
5.2 GRADING

5.2.1 Grading Plan

A conceptual grading plan has been prepared to guide future development of the community. The Concept Grading Plan (FIGURE 5-1) sets the outer limits of development and disturbance along the MSCP Preserve and identifies areas where the natural landforms are to be preserved. The Concept Grading Plan also identifies maximum slope height for development adjacent to open space. All grading for future projects must comply with applicable development regulations. Encroachment beyond the limits of disturbance shall be avoided.

The grading philosophy is to avoid significant grading adjacent to the MSCP Preserve and to retain the sense of existing landforms in development areas. Contour grading shall be used to create artificial slopes with curves and varying slope ratios designed to simulate the appearance of surrounding natural terrain.

Use contour grading for natural terrain appearance



Use variable slope ratios for grading adjacent to the proposed MSCP Preserve

Figure 5-1
Grading Plan

5.2.2 Grading Policies

- Extensive grading and/or terracing that disrupts the natural shape and contour of the site shall be restricted except in the Employment Center, Local Mixed Use Center, and Commercial Regional areas where larger pads are required. Where these pads are necessary, grading will be limited to the areas necessary for construction.
- Grading along the edge of the Preserve shall retain the existing characteristics of finger canyons. What limited grading which may occur within the Preserve shall be revegetated with native plant material that is horticulturally and visibly compatible with the Preserve.
- Berming and terracing will be a preferred method which will be used to separate competing land uses. If this cannot be satisfactorily accomplished, a street may serve the same function.
- Manufactured slopes will not exceed a slope ratio greater than 2:1. Variable slope ratios will be used to avoid abrupt changes from pads to slopes.
- Project grading design shall balance cut and fill on-site to avoid the need for excessive importing or exporting of soil.
- Manufactured slopes shall be landscaped with native or drought tolerant plant materials.

5.3 LANDSCAPING

5.3.1 Landscape Concept

The general goals of the landscaping program for Torrey Highlands are to preserve and enhance the natural character of the community, provide a coordinated program for street landscaping, and provide fire protection zones between native areas and structures. Edge interface areas will also be created to provide visual blending between uses and appropriate buffers between competing land uses. Several landscape components will be utilized throughout Torrey Highlands: Preserve revegetation areas, slopes and hillsides, major streets and medians, neighborhood areas, edge interface landscaping, fuel management areas, and water conservation. APPENDIX B includes a recommended plant list for Torrey Highlands.

5.3.2 Preserve Revegetation Areas

Many areas of the Preserve will be revegetated. The overall goal of restoration is to create and maintain functional habitat areas. Graded areas within the MSCP Preserve will be revegetated with native species and/or in any other manner consistent with the policies prescribed by MSCP staff. Specific restoration guidelines are provided in Chapter 2 (Open Space), as well as Appendix D of the Torrey Highlands Biological Resources Report Restoration and Enhancement Plan (APPENDIX C of the Torrey Highlands Subarea Plan).

5.3.3 Slopes and Hillsides

Natural and manufactured slopes occur throughout Torrey Highlands. Some slopes will be adjacent to major streets while others will separate land uses. As required by the Landscape Technical Manual:

- All manufactured slopes and hillsides steeper than 6:1 and greater than 5-feet in height shall be landscaped with native or drought tolerant plant materials.

5.3.4 Streets and Medians

Major streets in Torrey Highlands include Carmel Valley Road, Camino Ruiz, and Carmel Mountain Road. Landscaping along major roads shall use street trees selected from the Recommended Plant List for Torrey Highlands, (APPENDIX B) to establish continuity and a design theme.

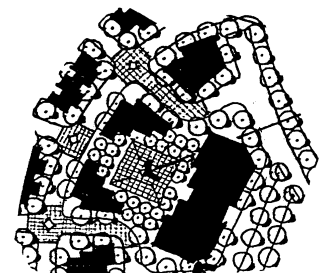
- In general one tree species should be used per street. Because of their limited shade production and tendency to overwhelm pedestrian scale, palm trees should not be used for street trees in Torrey Highlands. The spacing of street trees will vary depending upon the species selected; trees with narrow canopies should be placed closer than those with a broad profile.
- Accent trees should be used at intersections or focal points and should be a different species than the street tree.

5.3.5 Neighborhood Landscape Components

Throughout the distinctive neighborhoods of Torrey Highlands, continuity can be established through the use of landscape themes. Landscape components will also create a visually pleasing and comfortable pedestrian environment. Trees, shrubs and groundcovers shall be selected from the Recommended Plant List for Torrey Highlands, (APPENDIX B).

- Use of canopy trees and appropriate accent shrub plant species shall be emphasized throughout the Local Mixed Use Center and the residential areas to create a shaded, pleasant outdoor environment
- Landscape treatments in the Local Mixed Use Center and in residential neighborhoods shall create a strong, identifiable theme by using street trees to establish continuity; views along streets toward a community focal point (open space vista, public building, street art, historical feature, park structure, etc.) shall be provided and enhanced through use of landscape elements to frame the view

*LMXU landscape treatments
establish continuity*



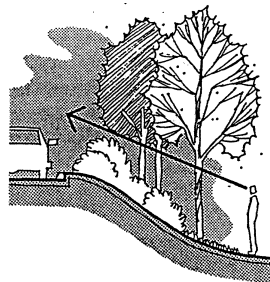
- A combination of street trees, ornamental shrubs and groundcovers shall be used along streets to act as a buffer between the pedestrian and the automobile
- Where roads open up to the Preserve or other open spaces, landscape treatments should consist of low growing native or drought tolerant annuals, perennials, and woody groundcovers; trees shall be located to frame view opportunities

5.3.6 Edge Interface Landscaping

Edge interface landscaping refers to areas throughout Torrey Highlands which include different land uses adjacent to each other. Examples include the interface between residential areas and the Employment Center, Commercial, Schools, and the MSCP preserve.

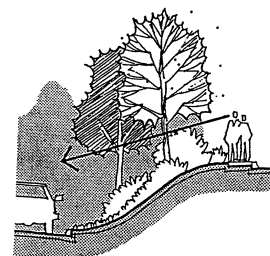
- Landscape setbacks a minimum of 10-feet in width shall be provided on the sides of commercial and Employment Center uses adjacent to residential areas; in addition, screening walls should be placed at the 10-foot setback line and landscape berms should be used in the landscape area to adequately separate and buffer uses.
- Where schools abut residential uses, residential developments should use appropriate landscape buffer techniques including, but not limited to, grade separation, berming and mass plant species; however, pedestrian circulation shall not be impeded by the buffering
- Potentially adverse visual impacts of Employment Center uses shall be mitigated through incorporating grade separation, artificial mounding and mass plant species of non-invasive drought tolerant trees and shrubs; this shall be intended to screen views from the adjacent Preserve, SR-56 and residential areas

Grade separation useful for screening visual impacts



5.3.7 Fuel Management Areas

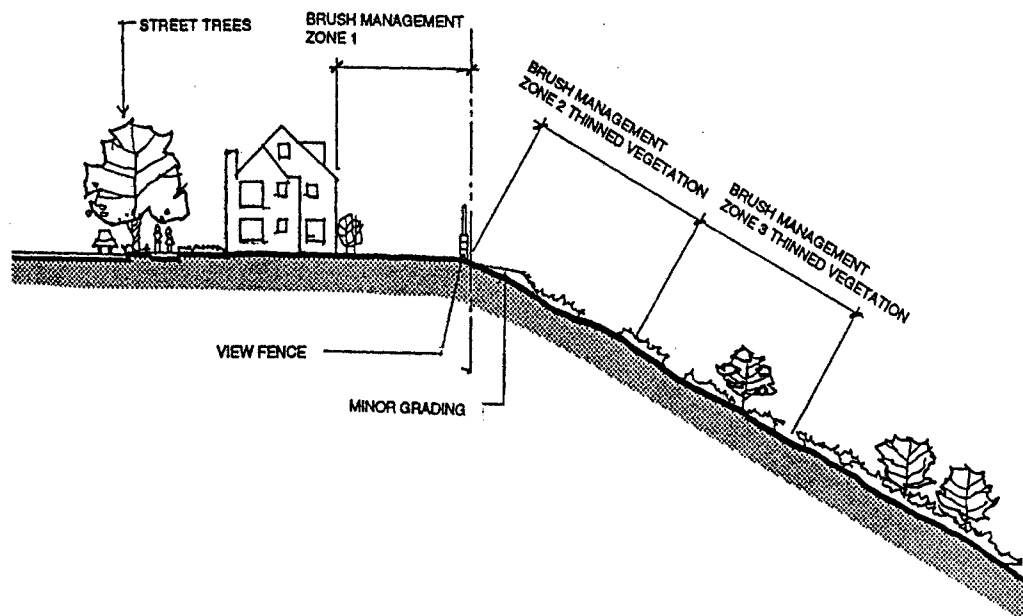
Fuel management areas exist between all structures and vegetation of canyons and hillsides and is intended to preserve, protect and safeguard human lives and property and the natural habitat. Brush management shall comply with the City's Landscape Technical Manual and MSCP staff requirements. For fuel management adjacent to the Preserve, see Section 2.4.3.



5.3.8 Water Conservation Measures

Landscape irrigation is a major source of water consumption in the urban environment. In addition to the City's Development Regulations, projects within Torrey Highlands will incorporate the following water conservation strategies:

- Runoff from landscaped areas shall be reduced through utilization of berming, raised planters and drip irrigation
- Irrigation systems shall be automatic and use low-precipitation sprinkler heads, anti-drain valves, rain switches and other conservation devices
- Vegetation indigenous to the area and non-invasive, drought tolerant plant materials shall be emphasized in the Torrey Highlands streetscape
- Use of reclaimed water where available
- Incorporate low-flow toilets, faucets and other water conserving devices into construction
- Provide information regarding water conservation measures to new residents at the



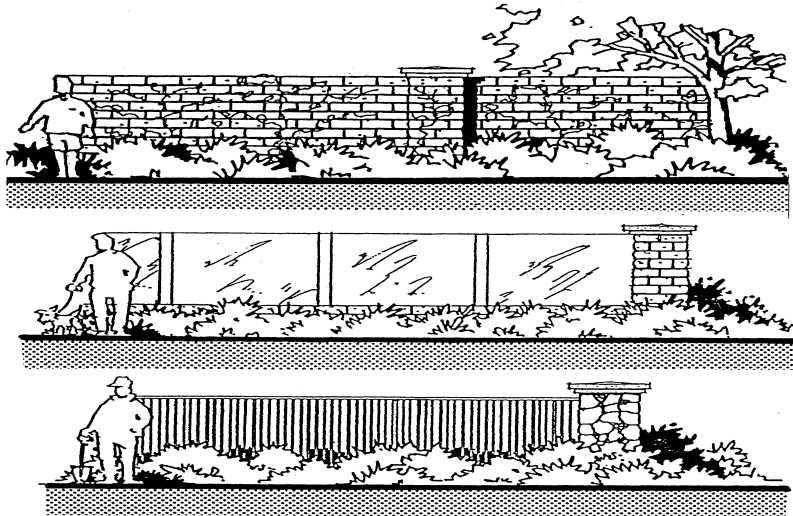
time of lot purchase

Fuel Management adjacent to the Preserve

5.4 FENCING AND WALLS

5.4.1 Fencing and Walls Concept

Fences and walls in Torrey Highlands will serve several functions including land use buffering and noise attenuation, privacy and security, ornamental treatments and identification. As a potentially highly visual element throughout a community, these structures will all be designed to provide a unifying element and to be aesthetically pleasing. The exact design, height and location shall be determined during the processing of site-specific development plans and



fencing regulations.

Fencing and walls serve as sound attenuation, enhance privacy and supply ornamentation

5.4.2 Fencing and Walls Policies

- Earth berms shall be used to replace or supplement walls and fences whenever practical; any sound wall that is required to be over 6-feet in height must be screened with landscaped berms
- Walls shall be uniform in design for each project
- If constructed along the boundaries of the Preserve or an open space, walls, fences and other barriers along the boundaries of the Preserve shall be of an “open” design to permit unobstructed views and vistas of the wildlife corridor and major topographical features of a particular directional orientation (e.g., Black Mountain to the east or Del Mar Mesa to the south)
- Walls and fences shall not prohibit pedestrian, equestrian and bicycle access to streets, the Local Mixed Use Center, commercial developments, parks, community facilities, and open space trails
- Retaining walls are sometimes appropriate to minimize impact to hillside slopes; where used to minimize site impacts, crib walls planted with drought tolerant species are preferred; where block retaining walls are used, landscaping to serve

as visual screening shall be provided; retaining walls over 6-feet in height shall be terraced

5.5 STREETS AND TRAILS

5.5.1 Streets and Trails Concept

The streets and trails throughout Torrey Highlands, as described in Chapter Three (Circulation), will be designed to establish a system for convenient movement of people from residential areas to local and regional goods and services and to recreational areas throughout Torrey Highlands. The following design guidelines further establish the method by which Torrey Highlands neighborhoods will accommodate automobile, alternative technology, electric vehicle, transit, bicycle, equestrian and pedestrian traffic.

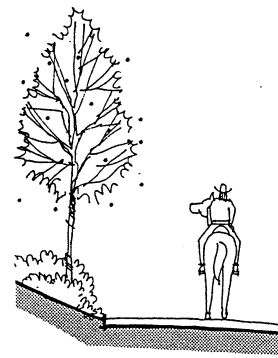
5.5.2 Streets and Trails Policies

Street Layout and Design

- In the Local Mixed Use Center, streets shall utilize a grid or modified-grid system to provide visual landmarks, create a sense of place and promote pedestrian and bicycle circulation
- In Low Density residential areas, a modified-grid system shall be used where topography allows, adapting road design to topography to minimize grading; where cul-de-sacs are used in Low Density residential areas, pedestrian through-ways shall be used where needed to provide access to destinations
- Public streets shall extend from residential areas into the Local Mixed Use Center to accommodate pedestrian and bicycle access
- Open spaces, schools, parks and neighborhoods will be connected with convenient pedestrian walkways and bikeways
- Street sections shall include landscaping, sidewalks, and trail improvements
- Reduced speeds shall be encouraged in residential areas through use of narrower street designs where permitted by the City Engineering Department

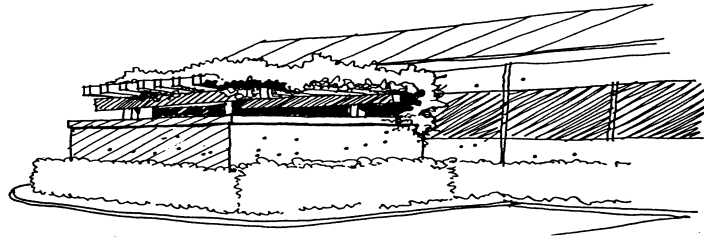
Pedestrian Ways and Trails

- Unpaved trails in the transition area of the Preserve (see Chapter Three: Circulation) shall follow the contour of the land and be “fitted” to the ground to minimize disturbance
- Where unpaved trails are anticipated for equestrian use, minimum width shall be 6-feet and desired width shall be 10-feet, to accommodate passing and riding two abreast



Street Furniture

- Utility structures and street furniture shall be designed to complement and reinforce the architectural style of the surrounding buildings; trash bins and utilities shall be screened from public view by solid walls, fences and/or



landscaping

Screened trash bin enclosures

- Transit stops shall be designed and sited in accordance with Metropolitan Transit Development Board guidelines, and be located to be convenient to pedestrian areas along Carmel Valley Road and Camino Ruiz as well as the Local Mixed Use Center; the transit stops shall be recessed for circulation ease; landscape planting shall be designed for a sense of safety and enclosure

5.6 DEVELOPMENT AREAS

These guidelines are intended to promote creativity and innovation as well as consistent quality in the implementation of Torrey Highlands neighborhoods. They shall be enforced through discretionary review of Planned Development Permits. FIGURE 5-2 illustrates a design scenario for the Central Local Mixed Use Area.

5.6.1 Local Mixed Use Center Policies

- Alleys are encouraged where practical. Street blocks shall be limited in size to 400' by 220' with alleys to facilitate a fine-grained mix of development as illustrated in FIGURE 5- 2
- Buildings should be arranged to form clearly defined public open space; public spaces shall be located in prominent locations within the core and provide a connection between commercial land uses and public buildings
- Street-level uses shall encourage a pedestrian-oriented district that supplies



consumer goods and services including retail, office, galleries

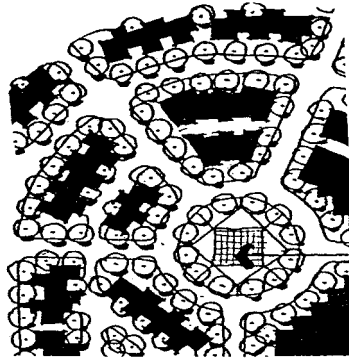
- A pedestrian-friendly environment will be achieved through the use of amenities such as shade trees, street furniture, narrow streets where appropriate, visual landmarks, plazas and courtyards; buildings shall front along the public street and sidewalks and be designed with minimum setbacks
- Buildings shall be oriented toward the street and placed on or within 10-feet of front property line to maintain continuity of street

Figure 5-2

Local Mixed Use Center

-
-
- Building facades shall vary and be articulated at street level through the use of arcades and awnings, bay windows and pictures windows, recessed entries and use of landscape planters rather than offsetting planes; articulation above the first story shall be continued through use of outdoor balconies and architectural relief and design; varied roof planes and shapes shall be used
 - The textural and material quality of a building's facade is important; traditional materials including stone, brick, concrete, block and stucco shall be used creatively to provide a sense of permanence; combined with architectural details and landscaping, the buildings can create a sense of connectivity to the street scene and pedestrians; reflective surfaces on buildings are prohibited at street level
 - Street trees shall be used throughout the Local Mixed Use Center; pedestrian seating areas shall be provided at select locations and be improved with benches, shade trees, ornamental landscape accents and trash receptacles

*Street trees used throughout
the LMXU center*



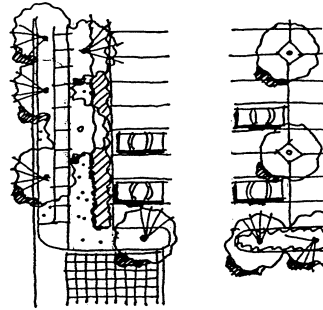
- The Local Mixed Use Center shall be oriented toward the intersection of two interior or “main” streets and away from Camino Ruiz; development of street level, commercial anchors at the four corners of this intersection will provide focus for the Local Mixed Use Center
- A traditional village atmosphere shall be fostered by encouraging outdoor activities including outdoor seating areas for cafes and restaurants, requiring sidewalk landscaping and building articulation such as awnings, overhangs and arcades; access to the neighborhood park is planned through the use of trails and pathways as well as potential siting of commercial businesses including cafes and bookstores opposite the park
- Side roads should focus towards the center of the Local Mixed Use Center providing alternative auto and pedestrian routes into the core area

Parking

- On-street parking shall be allowed adjacent to sidewalks in the Local Mixed Use Center
- Alleys shall be permitted in the Local Mixed Use Center to encourage service areas at the rear of buildings

- Parking lots shall be located to the interior of blocks and/or in the rear of buildings, allowing building frontages to be set back minimal distances from the sidewalk; where parking is located behind buildings, rear entrances shall be provided to the shops and offices in those buildings
- Parking lots shall be landscaped to prevent vast expanses of asphalt; landscaping shall include low walls and/or landscaping hedges at the perimeter and canopy trees and low shrubs throughout the interior of the parking lots

*Parking lots shall be landscaped
to prevent vast expanses of asphalt*



- In the Employment/Transit Center, joint use of parking facilities will be integrated between land uses which have differing peak hours through the incorporation of transportation demand management policies and accommodations such as preferential fees
- Bicycle parking facilities shall be provided throughout the Local Mixed Use Center
- Parking and pedestrian lighting shall complement the scale and style of the adjacent architectural structures and shall be spaced to meet the lighting requirements of outdoor areas relative to their anticipated uses; lighting shall be shielded to reduce spill-over into adjacent development and open space areas; low-pressure sodium lights shall be preferred

5.6.2 Neighborhood Commercial

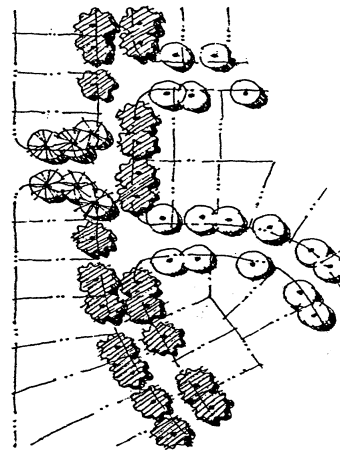
The design and development of the 1.5 acre Neighborhood Commercial in the Northern Neighborhood will be subject to Planned Development Permits to ensure high quality design and construction that will:

- Provide opportunities for pedestrian activity by incorporating walkways that connect with the surrounding residential areas; a small plaza or courtyard shall be provided as an entry to the commercial development from adjacent residential areas
- Provide an architectural style for the commercial and gas station that is of high quality and is also compatible with the adjacent residential buildings; building shall be constructed of traditional building materials including stone, brick, concrete and stucco; building facades shall be articulated

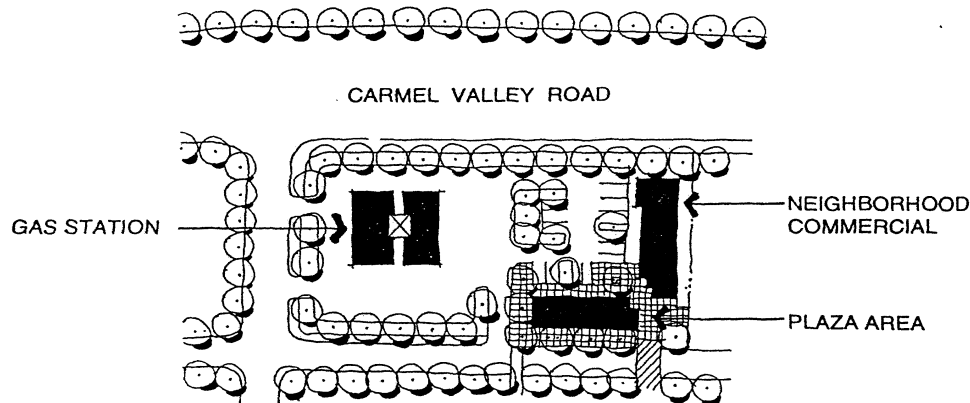
- Provide landscaping that screens and enhances the area

parking lots,

*Landscape techniques
establish a sense of place*



- Prepare a signage plan illustrating all signs, including those for the



gas station

Neighborhood Commercial Concept

5.6.3 Residential Area Policies

Lot and Neighborhood Design

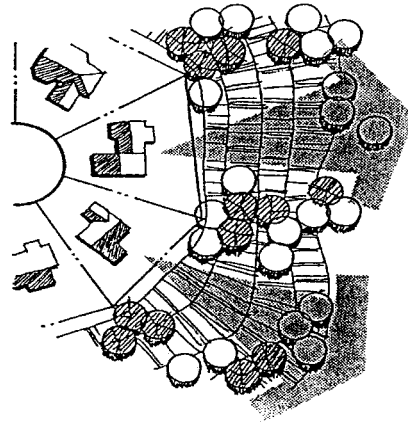
- Within Low Density residential, cul-de-sacs shall be encouraged; streets within residential subdivisions must not inhibit pedestrian circulation or cause additional traffic impacts to other neighborhoods
- A sense of place shall be established in the residential areas by coordinating lot design, landscape techniques and architectural themes; interconnected trail systems will contribute to unifying the neighborhoods
- The Local Mixed Use residential areas adjacent to the commercial uses shall consist of a mixture of housing types such as town homes and zero lot-line

detached residences; higher densities are to be clustered in locations closest to the commercial areas

Figure 5-3
Residential Concept Adjacent to Open Space

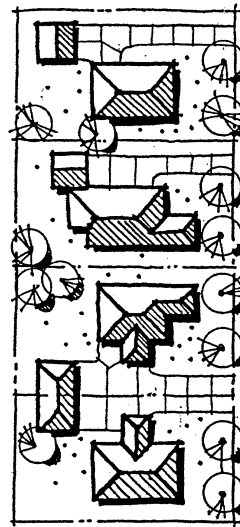
- Canyons and hillside views shall be emphasized as focal points. Lot design shall be adapted to topography and avoid repetitive design

Canyon and hillside views shall be emphasized



- A fine-grained mix of dwelling units shall be achieved in each residential development area by using a variety of compatible housing product and styles within individual projects
- Varied building heights and roof massing shall be encouraged along streets to create a visually interesting streetscene
- CC&Rs shall be established by individual developers which will promote rich architectural detail of dwellings; residential units shall be oriented to the street environment through use of front porches, entries and court yards; window projections and recesses, building overhangs, chimneys, balconies, shade structures and other similar elements shall also be used; a variety of roof types and forms are encouraged
- Front yard setbacks shall be offset forward or back on adjacent lots to achieve a varied and visually articulated streetscene

Alleys and garages are encouraged



Residential Interface Conditions

Two elementary schools, two middle schools and a high school will be sited in Torrey Highlands. Design of residential lots adjacent to schools and parks will consider both access to the school and park facilities and privacy for the residential areas.

The SDG&E high-voltage power line easement acts as the western boundary of Torrey Highlands. Appropriate site planning shall be used to buffer residences from transmission lines and the possible substation site. Site planning should include locating single loaded streets, parking lots or landscaped open spaces adjacent to the electrical utilities

The south edge of McGonigle Canyon is characterized by steep slopes and several finger canyons. Chapter Two (Open Space) provides detailed discussion of Preserve guidelines. The following policies supplement and define the buffering and blending of the area between residential uses and the Torrey Highlands Preserve:

- Access into the Preserve from private residential lots will be directed by the use of fencing; access will be provided at common areas as part of the trail system.

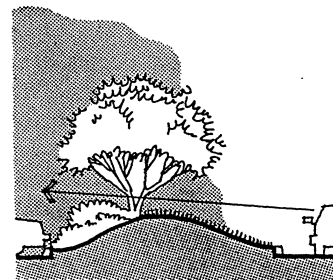
The north edge of McGonigle Canyon is not well defined but, rather, is characterized by gently rising slopes from the canyon bottom, making it necessary to create an edge. The edge conditions at the north side of McGonigle Canyon will include the following:

- A single loaded internal road adjacent to McGonigle Canyon shall be provided where possible, thereby extending the buffer area and the natural site features
- The transition area within the Preserve shall be dominated by native and naturalizing plant material and may include an unpaved multi-purpose trail

In the southeast portion of Torrey Highlands, Commercial and Employment Center uses are in close proximity to residential areas. Land uses shall be buffered in the following manner:

- Physical separation and screening shall be aided through street layout, setbacks, berming and landscaping.
- Residential buildings shall be oriented away from the Commercial and Employment Center uses.

*Landscape berming provides
physical separation and screening*

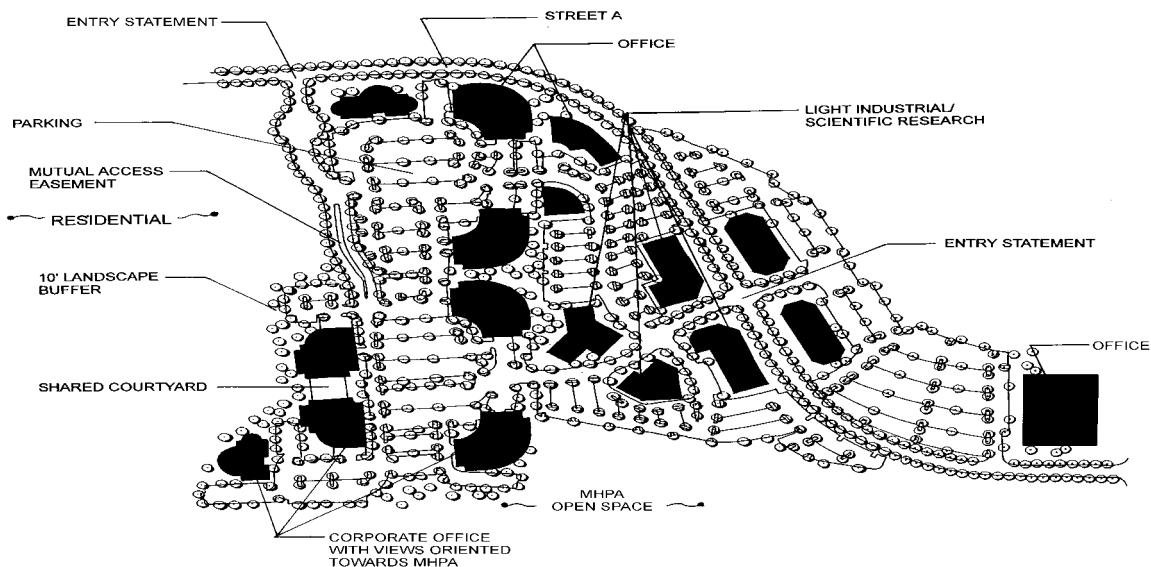


5.6.4 Employment Center

Discretionary review as part of the Planned Development Permit shall be established to ensure that:

- Site design for Employment Center uses shall consider controlled site access; service areas located at the sides and rear of buildings; convenient public access and visitor parking; screened storage, work and mechanical equipment areas; and emphasis on the main building entry and landscaping
- Mutual access easements and shared driveway access shall be utilized to limit curb cuts along the street frontages and allow maximum landscape area
- The following elements shall be avoided: large blank, flat wall surfaces; exposed, untreated concrete block walls; large expanses of reflective surfaces; chain link fencing with barbed wire (for security reasons, barbed wire in combination with solid masonry walls, plaster surfaced walls or wooden fences may be acceptable); “stuck on” mansard roofs on a small portion of the roofline; loading doors facing the street; and exposed roof drains
- Along public streets, landscaped building setbacks ranging from 10 to 30-feet shall be provided; in instances where buildings provide pedestrian interest, such as a shop or restaurant placed adjacent to a sidewalk, a maximum 10-foot setback is appropriate
- Light, neutral colors shall be used on buildings to help reduce their perceived size; contrasting trim and horizontal color bands may help break up the vertical monotony of tall flat walls
- Buildings shall be oriented to allow shared courtyards or plaza areas to create usable exterior space; individual buildings can be arranged to provide views, define space, suggest orientation or address grade change; buildings shall be sited to create functional spaces
- Parking shall be managed to allow for shared use where possible
- Office buildings shall be oriented to take advantage of views into the adjacent open space
- Pedestrian and bicycle connections shall be provided to the trails located along Street “A” and Camino Ruiz and in the Open Space Amenities; also, provide pedestrian links to support uses and to adjacent residential uses in furtherance of a neo-traditional design concept
- Architectural styles are of high quality and emphasize building materials such as stone, brick and wood; openings for doors and windows shall be recessed into the wall and treated as individual units; shadows created by this treatment will provide articulation to building walls

- Accessory and support commercial uses will be permitted within the EC/TC primary use structures, as a freestanding facility or in an aggregated manner concentrated on a single lot within the EC/TC area
- Distinctive landscaping shall enhance the project site and incorporate the street trees that are used by the adjacent street
- The mutual access easements will possess distinctive landscaping measures that enhance the project site and comply with the landscaping requirements for public streets as specified in the City's Landscape Technical Manual and design guidelines specified in this Subarea Plan
- MHPA guidelines will be followed by considering adjacent lands and addressing such topics of concern as drainage, lighting and landscaping. Lighting shall be directed away from all natural habitat, runoff from parking areas shall not be discharged directly into the MHPA, and invasive species shall not be planted adjacent to the MHPA
- Buildings shall be set back a minimum of 25 feet from the MHPA
- Views shall be oriented toward the MHPA and building entrances shall be oriented toward the interior of the EC/TC
- A 10-foot wide section of landscape screening shall be installed between the EC/TC and adjacent residential uses
- Buildings shall be designed to primarily accommodate single-tenant corporate office uses. Ancillary uses shall be limited to 20 percent of the EC/TC area. Multi-tenant uses shall be limited to that allowed by project-specific traffic studies

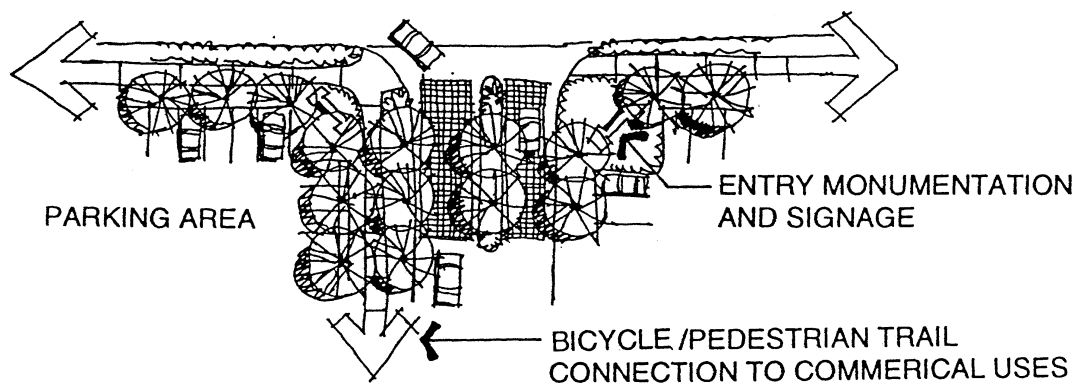


Employment Center Concept

5.6.5 Commercial Regional Policies

Discretionary review through Planned Development Permits shall ensure that Commercial Regional developments adhere to the following guidelines:

- Developments shall be integrated with surrounding land uses where possible; however, landscaped buffer areas, walls or a combination of both shall provide effective visual and noise attenuation between different land uses, loading docks and trash areas; landscaped buffers which incorporate a combination of tree and shrub planting shall be provided along Camino Ruiz and Carmel Mountain Road to screen and soften views of parking areas and buildings; parking lots shall be planted with trees to screen and soften large expanses of parking
- Buffers and walls shall not prevent pedestrian circulation; an integrated pedestrian circulation system shall be provided which includes convenient pedestrian pathways, crosswalks, and benches; bicycle access into the development and bicycle storage facilities shall also be provided; trees shall be used as directional elements to help identify entryways and circulation



Commercial Regional Entry

- Architectural and landscaping themes shall be consistent throughout the development; corporate identification is allowed, but must be consistent with the rest of the development; a unified architectural theme shall be developed for the entire site that is compatible with the architectural design policy contained in the Rancho Penasquitos Community Plan which states, "Commercial development should enhance the community's appearance by using an appropriate architectural style in buildings, signs and street furniture, such as Spanish mission style (adobe, stucco, tile) and Old West ranch style (wood siding and wood shingles)"

-
-
- The appearance of all building sites is especially important given that the site is surrounded by roads and a freeway; a combination of building articulation, building facades, texturing, painting and landscaping shall be used to provide visual variation in building elevations when viewed from the surrounding streets and freeways
 - Long expanses of walls shall be visually reduced by using a combination of: interconnection and overlapping of building forms and heights; horizontal lines or textures; landscaping and clustering of small scale elements such as planter walls
 - Rooftop equipment and appurtenances shall be screened from views by using parapets or other roof forms
 - The following elements shall be avoided: chain link fencing with barbed wire (for security reasons, barbed wire in combination with solid masonry walls, plaster surfaced walls or wooden fences may be acceptable); “stuck on” mansard roofs on a small portion of the roofline; and exposed roof drains
 - Light, neutral or other approved colors, shall be used on buildings to help reduce their perceived size; contrasting trim and horizontal color bands may help break up the vertical monotony of tall flat walls

CHAPTER SIX: COMMUNITY FACILITIES

GOAL:

Assure provision of safe and efficient public services concurrent with need.

6.1 IMPLEMENTING PRINCIPLES

- Site schools and neighborhood parks to enhance neighborhood identity and to maximize access by pedestrians and non-motorized transportation modes
- Ensure that facilities are designed to complement community architecture and landscape
- Pursue joint use agreements with public utilities to permit use easements
- Estimate funding costs for school facilities needs based on full buildout of proposed Subarea IV land use designations
- Base design standards for school facilities on Poway Unified School District state Board Policy
- Provide for the adoption of the schools financing and phasing plan before accepting any application for the rezoning of property or approve any permit applications to increase density entitlements within the Subarea
- Provide for execution of mitigation agreements and purchase agreements for designated school and neighborhood park sites by individual applicants before accepting any application for the rezoning of property or approve any permit applications to increase density entitlements for such property
- Provide turfgrass and temporary irrigation as improvements to a portion of the 30 acre community park located in Black Mountain Ranch
- Provide funding for a Wildlife Care Facility in Black Mountain Open Space Park

6.2 SCHOOLS

The Poway Unified School District provides elementary, middle and high school facilities for the entire Torrey Highlands Subarea. Torrey Highlands, with 2,600 dwelling units will generate 1,972 students. Students generated by the project, prior to build-out, will be accommodated by schools in the vicinity of Torrey Highlands. Table 6-1 lists the population generation factors established by the Poway Unified School District as applied to development occurring within the District.

6.2.1 School Plan

Build-out of Torrey Highlands will create the need for 1.15 elementary schools, 0.30 middle school and 0.28 high school (TABLE 6-1), based on student generation rates utilized by the Poway Unified School District. One elementary school, in addition to the existing Adobe Bluffs Elementary School, will be provided within Torrey Highlands. Mesa Verde Middle School was recently constructed in the southeast portion of Torrey Highlands with an additional middle school designated in the extreme northeast corner of the subarea. A high school has been tentatively located west of Camino Ruiz in the central portion of Torrey Highlands.

The District cannot guarantee that students at any grade level generated from Torrey Highlands will be able to be accommodated in the schools located in the neighboring community of Rancho Penasquitos. The District reserves the right to bus students to schools where space for portable classroom buildings is available.

TABLE 6-1
Torrey Highlands Student Generation

Grade	Single Family 2,122 DUs		Multi-Family 478 DUs		Total Students	Capacity of an Individual School	% Capacity
	Generation Rate	Students Generated	Generation Rate	Students Generated			
Elementary (K-5)	0.34	721	0.175	84	805	701	1.15
Middle (6-8)	0.18	382	0.07	33	415	1,380	0.30
High (9-12)	0.29	552	.10	48	600	2,140	0.28
Total					1,820		

Child Care Center

The Torrey Highlands plan designates a location for a 1-acre child-care center to be owned and operated by the Poway Unified School District (PUSD). The center will be located within the elementary school site to be constructed in Torrey Highlands Community. This location will provide easy access to the greatest number of residents and provide for economy of trips for families with children in the adjacent schools. The center will be designed to have separate access, parking and play areas from the elementary school. The child-care center will be adjacent to a 5-acre neighborhood park. The center will provide before and after school care for school-aged children and also possibly all day care for preschool children. PUSD policies and regulations shall be administered at the center.

Elementary Schools

Adobe Bluffs, located within the Torrey Highlands Subarea, currently has space available for students. However, other neighboring elementary schools in the Penasquitos area are operating at or above capacity and the District will be undertaking an attendance boundary adjustment to balance enrollments at these schools. As part of this effort, Adobe Bluffs could be at or over

capacity, in which case, children from Torrey Highlands would likely be located in portable classroom facilities at Adobe Bluffs or some other assigned elementary school campus until such time as population thresholds are reached sufficient to generate financing dollars to construct the elementary school located in the central neighborhood of Torrey Highlands.

An elementary school will eventually be located north of the Local Mixed Use Center. The school site will be 10-acres in size, with an additional 1-acre for associated child care center for the central school. A 5-acre neighborhood park will be located between the elementary school and the high school. Locating the school near the higher residential densities of the Local Mixed Use Centers and the Low Density residential areas benefits the greatest number of children by minimizing travel distances and street crossings. Additionally, major pedestrian and bicycle corridors will converge on the Local Mixed Use Center, and thereby provide connections between schools and the majority of the community.

Middle Schools

Although Mesa Verde Middle School was recently constructed in the southeast portion of Torrey Highlands, it is operating above capacity. It is anticipated the Torrey Highlands project, as outlined, will generate a need for more than a quarter of a middle school. It cannot be determined at this time whether the Mesa Verde campus will have space available to add additional portable facilities to house students from this project on an interim basis. Black Mountain Middle School, located at approximately 3.5 miles from Torrey Highlands, in the Penasquitos community, is more likely to have space for portable classroom additions to serve students on an interim basis until school construction thresholds are met. The District cannot guarantee that students from this project will attend Mesa Verde Middle School.

A second middle school site is located adjacent to, and within, Torrey Highlands. Approximately 10 acres of a Middle School site is located within Fairbanks Highlands, approximately 15 acres is located within Subarea I and less than 1 acre of the middle school site is located in Torrey Highlands.

High School

The proposed future high school, located on the eastern boundary of the Central neighborhood, will be required to accommodate new high school student generated by Torrey Highlands and other areas within the Poway Unified School District. Since all high schools in the District are now operating above capacity, it is anticipated that students from Torrey Highlands will be accommodated on an interim basis in portable facilities at the Mount Carmel campus.

High school students from the Torrey Highlands Subarea will eventually be accommodated by a new high school to be located west of the Camino Ruiz, within the boundary of Torrey Highlands. Approximately 70 acres has been allocated for the high school. If Poway Unified School District determines that a high school site is not needed within Torrey Highlands, the site will be developed as low density residential development. Development of the school site as Low Density residential will require a rezoning of the property to implement that designation.

School Facilities Master Plan and Financing Plan

Development projects within Torrey Highlands will be required to comply with school financing and phasing identified by the District in its School Facilities Master Plan and Financing Plan (the Schools Financing Plan) which is incorporated into this Subarea Plan as APPENDIX A. The Schools Financing Plan is subject to adjustment from time to time to reflect the educational policies adopted by the Board of Education of the District. As provided in the Schools Financing Plan, the District will form a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities Act of 1982, as amended, to provide a method of phasing and financing school facilities required to accommodate development of the Subarea Plan.

6.2.2 School Policies

In addition to the policies outline in Section 8.3 of the Framework Plan, the Torrey Highlands Subarea Plan has identified the following as school policies:

- Public elementary schools shall be precisely located in the Subarea Plan based upon site standards established by the School District and the State of California to provide safe and direct pedestrian access for a maximum number of students
- Pedestrian walkways and bikeways shall be designed to provide safe and direct access to elementary schools and middle schools
- Public school facilities shall be available for use by adults for educational programs, civic and cultural activities, and recreational uses
- Child care facilities shall be sited in conjunction with elementary school and be designed to have separate access and parking from the elementary school

6.3 PARKS AND RECREATION

The City of San Diego Progress Guide and General Plan provides guidelines and standards for population based and resource-based parks and facilities.

6.3.1 Park Plan

Torrey Highlands will provide the following park and recreational facilities for the community:

- Two 5-acre neighborhood parks
- A 270-acre corridor within a larger resource-based preserve
- Approximately 2.6 miles of unpaved hiking and equestrian trails, 1.7 miles of improved multi-purpose trails and 4.2 miles of paved multi-purpose trails.
- Passive and active open natural open spaces
- Urban open spaces

Figure 6.1
Existing and Proposed Community Facilities

Turfgrass and temporary irrigation will be provided as improvements to a portion of the 30-acre community park located in Black Mountain Ranch as described in the Torrey Highlands Public Facilities Financing Plan

Neighborhood Parks

Torrey Highlands will provide for two 5-acre neighborhood parks: one 5-acre park located between the high school and elementary school, and a second 5-acre park located in the Northern Neighborhood adjacent to the MSCP Preserve. Both neighborhood parks will be sited within easy pedestrian access to residential areas and will be connected to schools, community centers and open space by using sidewalks, trails and bicycle paths.

Community Parks

Torrey Highlands will provide its proportionate share of funding for the construction of a 30-acre community park in the NCFUA based upon the Torrey Highlands Public Facilities Financing Plan (PFFP). Its location will be north of Torrey Highlands, in the Black Mountain Ranch development (Unit 27, Lot 73 in the Black Mountain Ranch Development Agreement). Torrey Highlands will also provide turfgrass and temporary irrigation as improvements to a portion of the community park as indicated in the PFFP.

6.4 LIBRARY

Community libraries should serve a resident population of 30,000 and should be established when a service area, which is expected to grow to 30,000 residents within 20 years of library construction, has a minimum population of 18,000 to 20,000. Branches should be located in areas of intense people activity and where trips can be combined with other daily trips.

6.4.1 Library Policy

Torrey Highlands will provide its proportionate share of funding for library facilities in the Pacific Highlands Ranch development based on the Torrey Highlands Public Facilities Financing Plan.

6.5 LAW ENFORCEMENT

Primary law enforcement services will be provided by the City of San Diego Northeastern Division Substation located at 13396 Salmon River Road in Rancho Penasquitos (FIGURE 6-1). In 1996, the City of San Diego Police Department maintains a city-wide ratio of 1.65 sworn officers per 1000 residents, with a city-wide average response time of 7 minutes for priority 911 calls. Response times for non-priority calls vary according to time of day and unit availability.

6.6 FIRE PROTECTION

The City of San Diego Fire Department will provide Torrey Highlands with fire protection services. TABLE 6-2 provides the current response times for fire stations that provide service to Torrey Highlands.

6.6.1 Fire Protection Plan

The City of San Diego Fire Department has determined that no fire station is required within Torrey Highlands. Two new fire stations in Black Mountain Ranch to the north, one station anticipated in Subarea III to the west, and Station 40 in Rancho Penasquitos, are expected to allow the Fire Department to achieve a 6-minute first response time (see FIGURE 6.1). The Torrey Highlands community will be primarily served by the station located in south Black Mountain Ranch.

**TABLE 6-2
CITY OF SAN DIEGO FIRE STATIONS**

STATION	LOCATION	RESPONSE TIME*
24	13077 Harfield Avenue	7.8 min.
41	4914 Carroll Canyon Road	15.0 min.
35	4285 Eastgate Mall	16.1 min.

* Response times are approximate. Measurements taken from vicinity of the intersection of Black Mountain Road and Clarkview Lane.

SOURCE: City of San Diego Fire Department, 1996.

6.6.2 Fire Protection Policies

- Torrey Highlands will provide its proportionate share of funding for fire protection facilities in Black Mountain Ranch based on the requirements established for the North City Future Urbanizing Area.

6.7 PUBLIC UTILITIES

The San Diego Gas and Electric Company (SDG&E) maintains a 100-foot wide easement. The easement runs in a north/south direction along the western border of Torrey Highlands and contains two alternating current (AC) high-voltage overhead transmission lines identified as TL-13825 and TL-23021. TL-13825 is a 138 kilovolt (kV) circuit, supported by wooden poles, and TL-23021 is a 230 kV circuit, supported by steel towers support structures. For electric transmission lines along the western border of Torrey Highlands. In addition to the easement, SDG&E owns a 3.67-acre parcel of land in the northwest portion of the community that may be developed as a substation should a future need develop.

6.7.1 Public Utilities Plan

Water Service

Water service within Subarea IV will be provided by the City of San Diego Water Utilities Department. Currently, existing water facilities in the vicinity of Subarea IV have no capacity to serve any new development. Existing water transmission facilities in the vicinity of Subarea IV include the Del Mar Heights Pipeline traversing the northerly portion of the subarea, the Rancho Bernardo Pipeline to the east, and the Green Valley Pipeline to the west. The only new transmission facility proposed at this time is the Carmel Mountain Road Pipeline. It may traverse the southeasterly portion of Subarea IV in Carmel Mountain Road and appropriate

easements.

A final draft of the North City 610/712 Water Study has been completed (dated December 1997) which identifies needed water transmission and storage facilities to provide adequate capacity to undeveloped portions of Carmel Valley, Sorrento Hills and the entire FUA. This study identifies a 16" transmission line in Subarea IV in the right-of-way of Camino Ruiz (610 Zone).

Prior to any development within Subarea IV, all applicable water facilities must be constructed. In addition, developers will be required to provide a water study showing the proposed water distribution system for Subarea IV. The proposed water system shall be designed and constructed to the Water Utilities Department's most current standards. If proposed facilities do not meet the required standards, then such facilities shall be private.

Sewer Service

Sewer service will be provided by the City of San Diego Metropolitan Wastewater Department. The existing sewer facility in the vicinity of Subarea IV is the Carmel Valley Trunk Sewer located within McGonigle Canyon. All flows generated from Subarea IV will flow into the Carmel Valley Trunk Sewer which flows into the Metropolitan Sewerage System.

Prior studies indicate capacity is available for sewer service for Subarea IV. However, prior to any development within Subarea IV, the developers will be required to provide a sewer study showing the proposed sewer system for Subarea IV. All public sewer facilities shall be designed and constructed to the Water Utilities Department's most current standards. If proposed facilities do not meet the required standards, then such facilities shall be private. The cost of operating and maintaining non-regional public sewer pump stations will be borne by the appropriate homeowners' association or other private entity. All septic systems must be approved and permitted by the San Diego County Department of Health Services.

Solid Waste

Solid waste generated within Torrey Highlands will be transported to the Miramar Landfill which is owned and operated by the City of San Diego. As of 1996, the Miramar Landfill has a total remaining capacity of 14 million cubic yards. In order to reduce the amount of solid waste that is processed at landfills, the City of San Diego has adopted a recycling ordinance and Source Reduction and Recycling Element (SRRE). Torrey Highlands will comply with the recycling measures. In addition, a recycling center will be an allowed use within the Employment Center.

Gas and Electric Service

San Diego Gas and Electric Company (SDG&E) will provide gas and electric service to Torrey Highlands. A 100-foot wide electrical transmission line easement contains both a 138 and 230 kilovolt transmission line. The only existing source of gas and electric service for the project site is from the underground electric and gas feeder system, which extends south along Carmel Mountain Road and terminates at Sundance Avenue.

Telephone Service

Telephone service for Torrey Highlands will be provided by Pacific Bell Telephone Company. Existing telephone service lines are mounted on poles along Black Mountain Road.

6.7.2 Public Utilities Policies

- Based on current state standards, schools shall be sited a minimum of 400-feet from transmission lines; though the health and safety effects of EMF are speculative, residential uses are considered incompatible with the industrial uses of SDG&E facilities; site planning shall be in accordance with Section 5.6.3

CHAPTER SEVEN: HOUSING

GOAL:

Provide an economically and socially diverse community through provision of a variegated range of housing styles, tenancy types and prices.

7.1 IMPLEMENTING POLICIES

- Provide the fair share of affordable housing and housing for persons with special needs, and consistent with the City's Housing Element and the Regional Fair Share Distribution
- Recognize the need for group housing and housing for persons with special needs or desires, including senior housing, congregate care for the elderly, single room occupancy hotels, housing for temporary workers, and housing with supportive services
- Apply fair housing practices in sale, rental, and advertising of housing units

7.2 AFFORDABLE HOUSING

Torrey Highlands is subject to the affordable housing requirements in effect for the North City Future Urbanizing Area (NCFUA) under the City's Framework Plan provisions.

7.2.1 Housing Requirements

The NCFUA Framework Plan recommends the provision of housing for low income families, as defined by the San Diego Housing Commission. All affordable housing units must remain affordable for the life of the unit and should be phased proportionate to development of market rate units. Fulfillment of this objective may be satisfied by:

- Providing no less than 20 percent of housing units for occupancy by, and at rates affordable to, families earning no more than 65 percent of median area income adjusted for family size, or
- Dedicating developable land of equivalent value
- Residential development of 10 or fewer housing units and development located in the Very Low Density residential category may, at the direction of the City, satisfy the affordable housing requirements by paying an in-lieu fee, equivalent to the cost of achieving the required level of affordability, into a NCFUA Affordable Housing Trust Account administered by the San Diego Housing Commission; funds collected in this manner may be applied to affordable housing needs in the NCFUA, or within other areas which the City Council may deem appropriate for these affordable housing funds

7.2.2 Housing Policies

- Comply with the affordable housing requirements in effect for the NCFUA under the City's Framework Plan provisions
- Retain funds collected by the City in lieu of construction of affordable housing for future development or acquisition of affordable units within the NCFUA, or other communities which City Council may deem appropriate for these affordable housing funds
- Provide a variety of housing types and prices within the Local Mixed Use Center to enable affordability for low and moderate-income households
- Encourage development of senior housing, especially within and near the Local Mixed Use Centers, where location next to services, goods, and transit provide good siting criteria
- Encourage use of companion units as an integral part of residential development within and adjacent to the Local Mixed Use Center
- Provide an affirmative action marketing program concurrent with all residential tentative maps involving more than 20 dwelling units, as required by City of San Diego Council Policy 600-20

CHAPTER EIGHT: IMPLEMENTATION

GOAL:

Provide for the comprehensive development of Torrey Highlands consistent with City procedures and assure the provision of adequate public facilities and services to serve residential, commercial, and institutional uses in a timely manner.

8.1 IMPLEMENTING PRINCIPLES

- Provide recommendation for the implementation of the land use and development proposals set out in this Plan
- Phase development in a manner which considers the marketplace, the available community and transportation facilities, and the development in surrounding communities
- Provide for the timely financing of public facilities including buildings, recreational improvements, streets, and utilities, for both capital and operating and maintenance costs
- In implementing this Subarea Plan, uphold the goals and principals embodied in the Progress Guide and General Plan and City Council policies, as reflected in the objectives and proposals of this Plan.

8.2 REQUIRED APPROVALS

8.2.1 Subarea Plan

The Subarea Plan was submitted to the Planning Commission and the San Diego City Council for review and approval. After a recommendation of approval from the Planning Commission, the City Council adopted the Torrey Highlands Subarea Plan as an amendment to the North City Future Urbanizing Area Framework Plan on August 5, 1996.

8.2.2 Phase Shift

Prior to development in the Torrey Highlands community consistent with the land use plan, a Phase Shift must occur which transfers the land from the General Plan designation of Future Urbanizing Area to Planned Urbanizing Area. According to Council Policy 600-30, the Phase Shift must first be approved by City Council, then submitted to a vote of the people. If the Phase Shift ballot measure is approved by a majority vote of the people, subsequent planning and development in the Subarea may proceed according to the conditions and requirements of the approved Subarea Plan. If the Phase Shift ballot measure is unsuccessful, the Phase Shift applicant may choose to pursue a subsequent Phase Shift effort; in the meantime, property owners within the Subarea may proceed with development applications consistent with the existing zoning.

8.2.3 State Route 56 Alignment

Final selection of the alignment for SR-56 must occur prior to discretionary approval of any development in the Torrey Highlands community which is affected by the final alignment.

8.3 FACILITIES

8.3.1 Public Facility Improvement

A Public Facilities Financing Plan (PFFP) and Development Impact Fee (DIF) has been prepared for the entire Subarea IV. The PFFP identifies infrastructure improvements and other public facilities required to serve the projected population based on ultimate build-out of the Subarea. The timing of the improvements is tied to units constructed. The funding is tied to revenue generated by units constructed, including subdivision exactions, facilities fees and other development fees, by assessment districts, and/or by maintenance districts.

Development may occur faster than the time frames anticipated but no faster than the thresholds identified. For instance, if the market allows construction to proceed with 200 units more than is anticipated by the estimates in the PFFP for the year 1997, the units may proceed only so long as the infrastructure and other public facilities are built to accommodate them.

8.3.2 School Facilities

Development projects within Torrey Highlands will be required to comply with school financing and phasing as set forth in a School Facilities and Financing Plan (see APPENDIX A) prepared expressly for Subarea IV, and in concert with the Poway Unified School District (PUSD). No development within Subarea IV may occur prior to inclusion of the School Facilities and Financing Plan. No owner of land in Subarea IV may apply for the rezoning of property or any other permit to increase density entitlements for such property unless such owner has provided for the full mitigation of development impacts on the need for school facilities by (i) the execution of a school mitigation agreement between PUSD and the property owner seeking development approvals and (ii) if such owner has land designated as a school site, the execution of a school site purchase agreement consistent with Section 8.6.1 between PUSD and the property owner seeking development approvals. The Subarea Plan includes elementary school, middle school, and high school sites within Torrey Highlands, which are in addition to the elementary school and middle school already located within the area. Provisions for the acquisition of property for the eventual construction of the schools is contained in the School Facilities and Financing Plan consistent with the provisions of the Framework Plan. Further discussions of school facilities are provided in Chapter 6 (Community Facilities).

8.3.3 School Mitigation Condition

All impacts of development of the Torrey Highlands portion of Subarea IV on the facilities needs of the Poway Unified School District (the "District") shall be fully mitigated. Prior to processing any application for rezoning or any permit to increase density entitlements within the Subarea, the City shall include as Appendix A of this Subarea Plan, a School Facility Financing Plan which provides that each property owner within the Subarea shall enter into a mitigation agreement with the District (the "Mitigation Agreement") setting forth

the terms and methods of fully mitigating impacts of development on the District through participation in a community facility district (“CFD”) pursuant to the Mello-Roos Community Facilities Act of 1982. Any owner of property within the Subarea Plan who seeks a building permit for property at a zoning greater than A-1-10 prior to the inclusion of their property in the CFD shall pay to the District the following amounts for each attached or detached residential unit:

\$18,391 per Detached Residential Unit

\$7,891 per Attached Residential Unit

The amounts shall be increased as of January 1 of each year commencing January 1, 1997 by the percentage change in the “Index” and in the manner provided in the Mitigation Agreement. Such impacts will be fully mitigated only if the Mitigation Agreement is fully performed. Therefore, continued performance under the Mitigation Agreement shall be a condition of approval by the City for any future zoning decision, tentative map, subdivision map, building permit or other development entitlement approval or any portion thereof (collectively, “entitlement”). Within ten (10) days following written request delivered to the District by the City or any applicant, subject to holidays and delays beyond reasonable control of the District, the District shall submit to the certificate indicating the status of the continued performance of the Mitigation Agreement.

8.4 FUTURE ACTIONS

8.4.1 Zoning

At the time of the Subarea Plan preparation and approval, the property within the subarea is zoned A-1-10, an agricultural zone permitting one dwelling unit per ten acres. Neither this Subarea Plan nor a successful Phase Shift shall constitute a rezoning. Uses at densities higher than A-1-10 shall require a rezoning application. Property owners shall be required to make application for rezoning consistent with the Subarea Plan’s land use designations in order to develop at densities greater than allowed in the A-1-10 zone as contemplated by the Subarea Plan. Approval of rezoning applications may be granted only if such application is consistent with the policies and requirements of the Framework Plan, this Subarea Plan and applicable environmental documents.

In 1991, the City of San Diego began work on a comprehensive revision of its Municipal Code (Zoning Code Update) as it relates to permit processing, land uses and development regulations. The new code, upon adoption, will be known as the Land Development Code. The task of the Zoning Code Update was to make changes to permit processing procedures, revisions to land uses (the remaining and reformatting of existing zones and the creation of new zones) and establish refined development regulations. The Land Development Code, implemented January 1, 2000, renamed and reformatted zones. The new zones will be applied to property only upon an application by individual property owners to rezone from existing A-1-10 zoning.

8.4.2 Environmental Review/Resource Protection Ordinance

The Environmental Impact Report (EIR) prepared for consideration of the Torrey Highlands Subarea Plan is intended to be a comprehensive review of the impacts associated with development of the plan area. Future discretionary actions required to implement the plan would be subject to environmental review pursuant to the California Earthquake Quality Act (CEQA).

The Torrey Highlands Subarea Plan qualifies as alternative compliance with the City Resource Protection Ordinance (RPO) through implementation of the Environmental Tier, the proposed MSCP and other city, state and federal regulations governing resource preservation and project mitigation. Subsequent discretionary actions will be reviewed for consistency with the Environmental Tier and the MSCP as established by the Torrey Highlands Subarea Plan. If consistency with the Subarea Plan and RPO or successor regulation, is established by the Planning Commission, future Resource Protection Permits may be reduced or eliminated.

8.4.3 Planned Developments

The Torrey Highlands Subarea Plan requires approval of Planned Development Permits (PDP) for specific areas of the Plan. The purpose of the additional level of review is to facilitate development toward imaginative and innovative planning to implement the goals and objectives of the Subarea Plan. The Local Mixed Use Center will require approval of PDPs concurrent with rezoning of the property, unless a City-wide mixed use zone is established that will effectively guide the desired mix of development. In addition, residential areas throughout Torrey Highlands shall develop pursuant to PDPs to achieve clustered housing and concentrated open spaces. The City of San Diego NCFUA Framework Plan describes planned development requirements and processing guidelines which should be used in the Future Urbanizing Area including Torrey Highlands. Subsequent to a Phase Shift, those policies established by the City of San Diego for PDPs within planned urbanizing communities shall apply.

8.5 NCFUA CONSISTENCY WITHIN THE FRAMEWORK PLAN

The NCFUA Framework Plan provides a land use plan and policies, as well as underlying standards and guidelines for the Subarea Plans. The Torrey Highlands Plan provides more detailed and site specific information relative to the future development and constitutes a comprehensive amendment to the Framework Plan. Both documents will be used to review proposed development, but in instances where there are conflicts the Torrey Highlands Subarea Plan shall prevail.

8.6 PURCHASE AGREEMENTS

8.6.1 School Sites

Prior to consideration of any application for rezoning or application for approval of any permit to increase density for property, any portion of which is designated as a school site, purchase agreements (each fully executed by the relevant owner and Poway Unified School District) shall be delivered to the City. These purchase agreements (described in Section 8.3.2 above) shall commit owners of designated school sites to sell those sites to School District and commit the School to buy those sites. The terms of the purchase agreements shall be negotiated between the relevant owner and School District, however, the purchase amount shall not exceed the amount set forth in the

School Facilities Financing Plan and the acquisition date shall be no sooner than when the acquisition funding is provided for in the School Facilities Financing Plan.

8.6.2 Park Sites

In order to implement the Subarea Park Plan, purchase agreements shall be offered to the City. These purchase agreements shall commit owners of designated park sites to sell those sites to the City and commit the City to buy those sites. The terms of the purchase agreements shall be negotiated between the relevant owner and the City, however, the purchase amount shall not exceed the amount set forth in the Facilities Financing Plan and the acquisition date shall be no sooner than when the acquisition funding is provided for in the Facilities Financing Plan.